

Inclusion & Access Advisory Group

Meeting Date: Monday, 04 June, 2018

Location: Osprey Training Room, Level 1, City Administrative Building, Bridge Road, Nowra

Attachments (Under Separate Cover)

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DIAP Implementation Plan - Draft

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.1 Provide training on disability access and inclusion within staff induction training program and as part of tool box talk rescoures.	Human Resources		
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.2 Conduct a training needs analysis to support Disability Inclusion Action Plan and implementation.	Human Resources	Training Needs analysis completed. 10 staff attended Accessible Content Creation Training April 2018.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.3 Source or develop training for staff to support Disability Inclusion Action Plan implementation.	Human Resources	Internal Disability Awareness Training planned to commence July 2018	
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.4 Allocate a specific budget to the Disability Inclusion Action Plan	Community Development and Operations	Budget Bid submitted. Awaiting result.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.5 Incorporate Disability Inclusion Action Plan measures into Council's existing process for collecting Delivery Program and Operational Plan measures.	Executive Strategy/ Community Development	Progress towards the completion of DIAP actions and measures are captured in Council's current Delivery Plan and Operational Plan (DPOP) and are reported to Council biannually. Outcomes are also reported to the NSW State Government as part of Council's Annual Reporting progress.	
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.6 Update and increase the photo stock available to staff to enable broader depiction of disability diversity in general publications.	Executive Strategy	Photo library commenced. Requested budget for plain english library access.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S1.1 Demonstrate and promote a culture of disability awareness and inclusion.	A1.1.7 Promote events supporting disability inclusion and awareness e.g. International Day of People with Disability, Mental Health Week etc.	Executive Strategy/ Community Development	Delivered Shoalhaven Ability Expo in August 2017 and the inaugural Ulladulla Ability Expo, March 2018. Accessible Shuttle bus secured for 2017 Shoalhaven River Festival. - Planning commenced on a number of community events that aim to enhance the community's general awareness of the importance of inclusivity. Events include: o Ability Expo Bomaderry, August 15. o International Day of People with Disability (IDPWD) December 3	
S2.1 Progressively increase the availability of accessible toilets across the Shoalhaven	A2.1.1 Plan to progressively increase the number of accessible public toilets within the local government area reflecting the priorities identified by people with disability.	Asset Management	Council has an Asset Management Plan (PDF 574 kb) for all public amenities (toilets). This plan was reviewed in 2013 and comments on the public amenities are always welcomed and will be incorporated into the 2018 review.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.1 Progressively increase the availability of accessible toilets across the Shoalhaven	A2.1.2 Identify Council projects that could accommodate a lift and change facility and lobby for funds to provide them.	Asset Management	Strategic plan required, this will be incorporated into the Asset management Plan, currently being reviewed - currently being completed.	
S2.1 Progressively increase the availability of accessible toilets across the Shoalhaven	A2.1.3 Make available current and accurate information on the location of accessible toilets.	Asset Management	Complete - Details of locations are available through the National Public toilet map. There is a link on Council's website: https://shoalhaven.nsw.gov.au/My-Community/Community-Facilities/Public-amenities	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.2 Plan to progressively increase the amount of continuous accessible paths of travel to key destinations within the Shoalhaven	A2.2.1 Consult annually with people with disability on priorities for the maintenance and upgrade of footpaths, kerbs, and ramps.	Asset Management	Ongoing	
S2.2 Plan to progressively increase the amount of continuous accessible paths of travel to key destinations within the Shoalhaven	A2.2.2 Identify priority locations to increase the continuous paths of accessibility travel across the Shoalhaven in consultation with people with disability.	Asset Management		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.2 Plan to progressively increase the amount of continuous accessible paths of travel to key destinations within the Shoalhaven	A2.2.3 Collaborate with NSW Government agencies (e.g. NSW Roads and Maritime Services, Transport for NSW) to improve access and inclusion within the Shoalhaven local government area.	Asset Management		
S2.2 Plan to progressively increase the amount of continuous accessible paths of travel to key destinations within the Shoalhaven	A2.2.4 Review the accessible pathways and crossings around Nowra Aquatic Park, Nowra Youth Centre.	Asset Management		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.3 Increase accessibility and inclusion of events held in the Shoalhaven and of Council meetings.	A2.3.1 Source or develop accessible and inclusive event and meeting guidelines for use within Shoalhaven City Council.	Executive Strategy		
S2.3 Increase accessibility and inclusion of events held in the Shoalhaven and of Council meetings.	A2.3.1 Source or develop accessible and inclusive event and meeting guidelines for use within Shoalhaven City Council.	Tourism / Community Development	Accessible and Inclusive event policy completed: http://doc.intranet/displaydoc.aspx?record=POL16/266	
S2.3 Increase accessibility and inclusion of events held in the Shoalhaven and of Council meetings.	A2.3.2 Progressively increase the number of events that have an access and inclusion plan.	Executive Strategy / Community Development	Not only Exec Strategy but all of Council approach - this is ongoing. All events now have access options included.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.3 Increase accessibility and inclusion of events held in the Shoalhaven and of Council meetings.	A2.3.3 Create an access checklist to support the inclusion of people with disability to attend meetings held at Council.	Executive Strategy / Community Development		
S2.3 Increase accessibility and inclusion of events held in the Shoalhaven and of Council meetings.	A2.3.4 Support Shoalhaven Aboriginal Network of Disability Services, Aboriginal Ability Linkers and other community organisers of cultural events eg. NAIDOC Week, Reconciliation Week to include access and inclusion plans.	Community Development		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
<p>S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure.</p>	<p>A2.4.1 Continue to deliver acquire and promote library and art gallery resources in accessible formats and accessible technologies.</p>	<p>Library Services/ Arts and Culture</p>	<p>A number of resources were acquired for people with print disabilities including:</p> <ul style="list-style-type: none"> o Dyslexia-Friendly collection of 180 youth and junior books held at Shoalhaven Libraries Dyslexia-Friendly Collection . o eBook service (Overdrive) has dyslexic font as an option on platform/eMagazine. o eNewspaper database/ (Pressreader) has text to voice capabilities. o Large print books have been purchased and are available for loan at Shoalhaven Libraries o A growing collection of audio books in various formats have been added to the collection o Extension of Council's Home Library Service to members of the community that are not able to physically access library services 	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.4 Progressively increase accessibility and inclusion of places of recreation,	A2.4.2 Deliver 4 "Art Engage" type sessions within the workshops that incorporate access and inclusion elements (budget dependent)	Arts and Culture		
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure.	A2.4.3 Commission art exhibitions and/or touring shows exploring the experience of living with disability or catering to people with specific types of disability	Arts and Culture		
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure	A2.4.4 Investigate working in partnership with Aboriginal Ability Linkers to promote library and art gallery workshops and programs supporting inclusion.	Library Services/ Arts and Culture/ Community Development		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure.	A2.4.5 Develop a range of inclusive and accessible activities at Council's pools, swim and fitness centres	Shoalhaven Swim and Fitness	installation of new threshold ramps to Nowra Aquatic Park - installation of new chair fall prevention railing at Nowra Aquatic Park.	
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and	A2.4.6 Improve the availability of access and inclusion information on beaches, waterways and other sites of interest to residents, tourists and visitors.	Executive Strategy / Environmental Services		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure.	A2.4.7 Investigate options for beach access for people using wheelchairs and/or for access to calm water non-beach swim sites.	Environmental Services	11 beach wheelchairs procured and placed in Surf Lifesaving Clubs, White Sands Holiday Park and Grevilles Corner Store for free hire. - Commenced investigation of inclusive beach access at Warrain Beach, Hyams Beach, Mollymook Beach and submitted 2 applications for grant funds to install all access to Barfleure Beach, Vincentia. Plans to develop a strategy for accessible beach access across the city in consultation with Inclusion and	
S2.4 Progressively increase accessibility and inclusion of places of recreation, learning and leisure.	A2.4.8 Promote information to an fenced play areas for families seeking these facilities.	Social & Infrastructure Planning	Delivered Shoalhaven's first fully fenced, all-inclusive playground in Mollymook. Officially opened 8/12/2017.	
S2.4 Progressively increase accessibility and inclusion of places of	A2.4.9 Strategically identify parks for provision of accessible pathways, toilets, accessible park tables and barbecues.	Social & Infrastructure Planning		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.4 Progressively increase accessibility and inclusion of places of	A2.4.10 Plan for progressively increasing the accessibility of sporting ovals including parking, toilets and pathways.	Social & Infrastructure Planning		
S2.5 Increase awareness of accessible parking in the Shoalhaven	A2.5.1 Correct and/or clarify the controls relating to accessible parking in relevant Development Control Plan chapters.	Planning & Development Services		
S2.5 Increase awareness of accessible parking in the Shoalhaven	A2.5.2 Map the accessible parking spaces in commercial centres and points of public destination.	Asset Management		
S2.5 Increase awareness of accessible parking in the Shoalhaven	A2.5.3 Develop a strategy for Ranger Services to patrol accessible parking spaces particularly in commercial centres and points of public destination.	Ranger Services	All Rangers to be consulted with updated daily taskings. Toolbox meetings to emphasises importance of Disability parking spaces.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.6 Improve access to Council operated buildings and providing better way finding.	A2.6.1 Improve signage in Council Administration building to support access to meeting rooms, life and accessible toilet.	Asset Management		
S2.6 Improve access to Council operated buildings and providing better way finding.	A2.6.2 Investigate the feasibility of having lower height service desks at the Entertainment Centre Kiosk and Bar	Shoalhaven Entertainment Centre	Detailed design developed. Will implement when resources are available.	
S2.6 Improve access to Council operated buildings and providing better way finding.	A2.6.3 Investigate how the accessibility of the Entertainment Centre can be improved for people who are blind (such as blue tooth beacons in conjunction with smart phones)	Shoalhaven Entertainment Centre		
S2.6 Improve access to Council operated buildings and providing better way finding.	A2.6.4 Investigate reserving accessible places in the Entertainment Centre for early booking and internet booking by people with disability	Shoalhaven Entertainment Centre	Achieved. Working well.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.6 Improve access to Council operated buildings and providing better way finding.	A2.6.6 Review the placement of stalls at the Information Centre (Nowra) to enhance access by people using wheelchairs, walking frames or prams.	Tourism	Front counter has been redesigned and stands placed to allow access. Completed	
S2.7 Continue to encourage, support and promote accessible tourism in the Shoalhaven	A2.7.1 Promote and highlight accessible tourism product throughout the region.	Tourism	A double page spread in the 2018 visitor guide showcases inclusive itinerary, product and a link to itsheaven.org for further inclusive detail.	
S2.7 Continue to encourage, support and promote accessible tourism in the Shoalhaven	A2.7.2 Include accessible tourism itineraries	Tourism/ Community Development	Landing page with accessible product and inclusive itineraries prominent on Tourism website homepage, and continued project to collect accessible information from operators for itsheaven.org / shoalhaven.com/inclusive	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
S2.7 Continue to encourage, support and promote accessible tourism in the Shoalhaven	A2.7.3 Ensure tourism website is at WCAG 2.0 AA standard	Tourism/ Community Development	Tourism website currently at WCAG 2.0 Standard A. It requires further improvement to meet AA standard. A compromise with design and style needs to be made. This is a work in progress and staff are working to achieve AA standard.	
S3.1 Progressively enable the provision of inclusive forms of communications and alternative formats when required.	A3.1.1 Develop guidelines for staff to author accessible and inclusive documents (including to enable web accessibility)	Executive Strategy	Included in updated branding guidelines. 100% of Executive Strategy staff attended Accessible Content Creation Training to develop skills in creating accessible and inclusive documents.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
3S.1 Progressively enable the provision of inclusive forms of communications and alternative formats when required.	A3.1.2 Develop guidelines or procedures to produce documentation in alternative formats for attendees of Council hosted meetings.	Executive Strategy	Included in updated Branding Guidelines.	
3S.2 Progressively improve Council websites accessibility and publications posted on the website and on social media.	A3.2.1 Undertake an audit of Council websites and intranet against Web Content Accessibility Guidelines 2.0 standards and develop a staged and costed implementation plan to improve web accessibility.	Executive Strategy		
3S.2 Progressively improve Council websites accessibility and publications posted on the website and on social media.	A3.2.2 Ensure all contact details on Council websites also refer to the National Relay Service and how to access or request alternative format documents.	Executive Strategy	Completed. Speech and hearing assistance information on contact us page.	

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
3S.3 Incorporate accessibility and inclusion considerations in procurement decisions and	A3.3.1 Source or develop guidelines for incorporating accessibility and inclusion considerations in procurement contracts	Purchasing and Supply All Departments		
3S.4 Review all Council complaint and feedback processes to ensure they are	A3.4.1 Incorporate information from resources from Nsw Ombudsman into feedback and complaints information across Council in relation to making these accessible to people with disability.	Governance / Community Development		
3S.5 Develop a process to ensure that access and inclusion is systematically	A3.5.1 Progressively review and update Council policies (prioritising service delivery focused policies) to ensure access and inclusion are addressed.	Executive Strategy/ Community Development	To be included in Exec Strategy policies. This is for all areas.	
3S.5 Develop a process to ensure that access and inclusion is systematically	A3.5.2 Develop a check list for policy developers to consider impacts on access and inclusion for people with disability.	Governance / Community Development		

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STRATEGY	ACTIONS	LEAD TEAM	ACTION PROGRESS May 2018	PROJECTED COST
4S.1 Review recruitment and employment processes to ensure they are	A4.1.2 Establish relationships with local Disability Employment Service organisations	Human Resources		
4S.1 Review recruitment and employment processes to ensure they are barrier free to candidates who have a disability.	A4.1.3 Collect data in relation to disability access and inclusion are collected as part of on-line recruitment process.	Human Resources	In place	

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DRAFT Chapter G13: Medium Density and Other Residential Development

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Amendment history			
Version Number	Date Adopted by Council	Commencement Date	Amendment Type
1			Draft
2			

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DRAFT Chapter G13: Medium Density and Other Residential Development

1 Purpose

This purpose of this Chapter is to ensure that **development** is compatible with the bulk and **scale** of the existing and likely future residential **development** of adjacent lands to ensure a high standard of **development** throughout the Shoalhaven Local Government Area.

Note: The controls in this Chapter are supplementary to Shoalhaven Local Environmental Plan (LEP) 2014, Shoalhaven LEP (Jerberra Estate) 2014 and area specific Chapters of this **Development Control Plan**. Shoalhaven LEP 2014, Shoalhaven LEP (Jerberra Estate) 2014 and the area specific Chapters will prevail where there is an inconsistency with a provision in this Chapter.

2 Application

This Chapter applies to land where **dual occupancy**, **multi dwelling housing**, **multi dwelling housing (terraces)**, **attached dwellings**, **semi-detached dwellings**, **manor houses**, **integrated housing development**, **residential flat buildings**, **shop top housing**, **seniors housing**, **boarding houses**, **group homes** and **hostels** are permissible with **development consent**.

Note: Separate controls apply to **dwelling houses**, **rural workers dwellings** and **secondary dwellings**. See Chapter G12: Dwelling Houses, Rural Worker's Dwellings, Additions and Ancillary Structures for more information.

Dual occupancy development may take the form of:

- Converting part of an existing **dwelling** to a second **dwelling**.
- Additions to an existing **dwelling** for the purpose of a second **dwelling**.
- Construction of a detached second **dwelling**.
- Construction of two **dwellings** that are attached.
- Construction of two detached **dwellings**.

3 Context

The **development** of land for residential purposes has become complex due to an increasing number of constraints and controls. Over time, minimum lot sizes have often been reduced while **owner** and occupant needs and aspirations have increased. There are also competing demands by the **community** and neighbourhood for a pleasant environment with high levels of privacy and minimal adverse impacts.

The impact of a proposal on the amenity of adjoining properties is to be a principal consideration of applicants when preparing a development application.

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4 Objectives

The objectives are to:

- i. Ensure a comprehensive design-oriented approach to housing resulting in high quality urban design, development and residential amenity.
- ii. Set appropriate environmental criteria for energy efficiency, solar access, light spill, privacy, noise, vehicular access, parking and open space.
- iii. Allow for efficient use of existing services and facilities, including utility services, transport systems and community facilities.
- iv. Maintain and enhance the amenity of existing and future residential areas.
- v. Promote wider and more affordable housing choice in Shoalhaven.
- vi. Allow opportunities for home owners to receive rental income or provide relatives with self-contained accommodation.
- vii. Implement agreed strategic directions and respond to demographic needs (e.g. the ageing population).

5 Medium Density Development

This section applies to dual occupancy, multi dwelling housing, multi dwelling housing (terraces), attached dwellings, semi-detached dwellings, manor houses and integrated housing development. All provisions will apply unless additional provisions are specified for a specific land use.

Note: If the development does not meet the requirements of this Section (e.g. car parking, accessibility/adaptability, setbacks), it may not be appropriate for the site.

5.1 Principle Controls

5.1.1 Minimum Lot Size

The specific objectives are to:

- i. Ensure the development site is of a sufficient size and shape to achieve required Development Control Plan provisions (e.g. landscaped areas, private open space, car parking, building separation, on-site effluent disposal (where required), services and the like) in a practical and efficient way.
- ii. Ensure that any lot consolidation/ amalgamation avoids the isolation of smaller lots surrounded by larger developments.
- iii. Encourage development that responds to the site and surrounding streetscape characteristics.
- iv. Encourage high amenity streetscapes with wider street frontages.
- v. Preserve and enhance the amenity and environmental character of the locality and minimise adverse impacts on residents and neighbours.

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- vi. Encourage the sharing of facilities and services such as car parking and waste collection.

Mandatory Controls:

1. A development application for a dual occupancy in the R3 Medium Density Residential zone must be accompanied by supporting written evidence to Council's satisfaction, showing that lot consolidation/amalgamation is not feasible as a result of negotiations and reasonable financial offers. Written evidence should include (not exclusively) current market valuations, letters of offer and written refusals.

Note: If the proposed dual occupancy is located in the R3 zone, Clause 4.1B of Shoalhaven LEP 2014 requires the applicant to satisfy Council that the amalgamation of the lot with other land in the R3 zone for the purpose of medium density development is not feasible.

2. The development site for multi dwelling housing, multi dwelling housing (terraces) or a manor house must be:
 - Of an appropriate size and dimension; or

Note: A site may need to be a product of amalgamation with other land in the zone to be considered an appropriate size and dimension.

- Accompanied by supporting written evidence to Council's satisfaction, showing that lot consolidation/ amalgamation is not feasible as a result of negotiations and reasonable financial offers. Written evidence should include (not exclusively) current market valuations, letters of offer and written refusals.

General Controls:

Performance Criteria	Acceptable Solutions
<p>P1 To create lots of an appropriate size for the purpose including:</p> <ul style="list-style-type: none"> • Provision for building footprint, landscaping, car parking, driveway, private recreation areas, manoeuvring on sites, setbacks, services and the like. • Preservation of the integrity of existing or desired future streetscape and neighbourhood character to enable consistent and visually harmonious development within the locality. • Provision of high quality amenity for residents and neighbours. 	<p><i>Additional Provisions - Dual Occupancy</i></p> <p>A1.1 The minimum lot size of the development site meets the requirements of Shoalhaven LEP 2014, and the following minimum standards:</p> <ul style="list-style-type: none"> • Dual occupancy (attached) - 500m². • Dual occupancy (detached) - 700m². • Dual occupancy (battle-axe lots) - 1000m². <p>Note: Despite A1.1 above, the minimum lot size of the existing lot for</p>

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- Accommodating on-site sewage storage and disposal where a reticulated sewerage scheme is not available.

the purpose of a dual occupancy development in the R3 zone must comply with Clause 4.1B of Shoalhaven LEP 2014.

- A1.2 Minimum lot sizes, where a reticulated sewerage scheme is not available, must be increased to accommodate on-site disposal of effluent in accordance with Chapter G8: Onsite Sewage Management of this Development Control Plan.

5.1.2 Density

The specific objectives are to:

- Minimise adverse impacts of higher density development in residential areas.
- Ensure that the bulk and scale of new development is compatible with existing streetscape amenity and the existing or desired future character of the area.

Performance Criteria	Acceptable Solutions
<p>P2 The bulk and scale of new development, particularly on the perimeter of the development site, or where that locality or development site has heritage significance and/or distinctive character, is:</p> <ul style="list-style-type: none"> • Compatible, consistent and sympathetic to the bulk and scale of existing development in the locality. • Sympathetic with the streetscape and complements the existing and desired future character of the area. 	<p>A2.1 The maximum floor space ratio or gross floor area complies with Table 1 below.</p> <p>Note:</p> <ul style="list-style-type: none"> • Where an area is mapped on the floor space ratio map in Shoalhaven LEP 2014, the Shoalhaven LEP 2014 provisions for these sites prevail. • For guidance when calculating floor space ratio (including exclusions), refer to: <ul style="list-style-type: none"> - Figure 1. - Gross floor area definition. - Clause 4.5 of Shoalhaven LEP 2014 and Shoalhaven LEP (Jerberra Estate) 2014. • A maximum of 50m² for the combined total garage floor area in a dual occupancy development may be excluded from the gross floor area calculation where the garages are located within the dwellings.

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DRAFT Chapter G13: Medium Density and Other Residential Development

Table 1: Floor Space Ratio and Gross Floor Area Provisions

	Lot Size or Zone	Floor Space Ratio or Gross Floor Area
Dual occupancy	<1,000m ²	0.5:1
Semi-detached dwellings	>1,000m ² – <20,000m ² (2ha)	500m ²
Integrated housing development		
	>20,000m ² (2ha) in rural and environmental zones	600m ²
Multi dwelling housing	RU5 Village	0.5:1
Multi dwelling housing (terraces)	R1 General Residential	0.5:1
Manor house	R3 Medium Density Residential	0.7:1
Attached dwellings		
	B4 Mixed Use	0.7:1

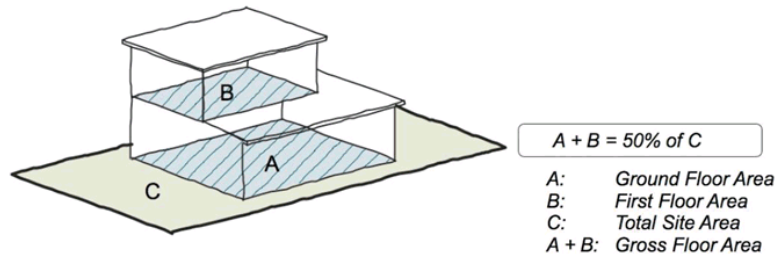


Figure 1: How to calculate floor space ratio (example FSR of 0.5:1)

5.1.3 Building Envelope, Heights and Setbacks

The specific objectives are to:

- i. Provide practical building envelopes for development to ensure that the height and scale of new development is not excessive, relates well to the local context/streetscape and is compatible with the existing or desired future environmental character within the locality.
- ii. Minimise the visual impacts of elements of the development that exaggerate the built form and impacts negatively on desired future streetscapes.
- iii. Encourage design that creates desirable living conditions and ensures that the amenity of surrounding properties is properly considered and not adversely impacted.
- iv. Allow adequate separation between dwellings (within the development) and adjoining properties to promote natural light, solar access, ventilation, landscaping and privacy.
- v. Retain the amenity of the public domain.

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Performance Criteria	Acceptable Solutions
<p>P3.1 The bulk and scale of development is compatible with the existing or desired future character of the area and minimises adverse amenity impacts on neighbours, the streetscape and public domain.</p> <p>P3.2 Development enables view sharing with neighbours and the public domain.</p>	<p>A3.1 Buildings are sited within a building envelope determined by the following method: planes are projected at 45 degrees from a height of 5m above ground level (existing) at the front, side and rear boundary. See Figure 2.</p> <div data-bbox="874 607 1276 880" data-label="Diagram"> </div> <p>Figure 2: Building envelope</p> <div data-bbox="879 925 1268 1227" data-label="Text"> <p>Note:</p> <ol style="list-style-type: none"> 1. Exemptions to building envelope encroachments include gutter, fascias, downpipes, eaves up to 0.6m, aerials and masonry chimneys. 2. For site slopes of up to 10%, or involving cut, fill or site excavations, the ground level (existing) and proposed building levels must be clearly identified on the plans and verified by a registered surveyor. </div>
<p>P4 The height of development:</p> <ul style="list-style-type: none"> • Is compatible with the existing or desired future character of the area. • Minimises adverse amenity impacts associated with overlooking and overshadowing of adjoining properties. • Relates to the land form, with minimal cut and fill. 	<p>A4.1 Building heights must comply with Clause 4.3 of Shoalhaven LEP 2014 or Shoalhaven LEP (Jerberra Estate) 2014.</p> <p>A4.2 Development on wedged-shaped lots within cul-de-sacs shall maintain a single dwelling street presentation.</p> <p>A4.3 Any two-storey dwelling component is to be located to minimise the shading of adjacent private open space.</p> <p>A4.4 The difference in building height between existing buildings and new development is compatible when viewed from the public domain.</p>

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Additional Provisions - Dual Occupancy

- A4.5 For **dual occupancy (detached)**, the **dwelling** furthest from the street (or adjacent to a side street for a corner **lot**) shall be of single **storey** construction unless it can be demonstrated that there will be no adverse amenity impacts (i.e. overlooking and overshadowing).
- A4.6 For **dual occupancy development** on a battle-axe **lot**, both **dwellings** are to be of single **storey** construction.

- P5.1 The front **setback** is generally consistent with adjoining **development** and does not undermine the integrity of the prevailing **building lines**.
- P5.2 The location and siting of the **building** complements the existing **setbacks** in proximity to the site, foreshore (if applicable) and the streetscape.
- P5.3 The proposed **development** is **setback** and of a **scale** that is relative to the street reserve width, in such a way to ensure pedestrians do not feel **buildings** are overbearing.
- P5.4 **Setbacks** avoid loss of **view**, undue overshadowing and provide/maintain privacy (visual and acoustic) and traffic safety.
- P5.5 **Setbacks** are progressively increased to reduce bulk and overshadowing while maintaining adequate daylight and sunlight.
- P5.6 Adequate levels of light and ventilation to adjoining **buildings**, landscaping, services and infrastructure are protected.
- P5.7 The proposal maintains adequate provision for on-site car parking.

Note:

1. The acceptable solutions for **setbacks** may need to be increased or modified depending upon factors such as:
 - Slope of the land.
 - Requirements for **asset protection zones**.
 - Foreshore **setbacks**.
 - The requirement for **effluent** disposal areas to be contained wholly within the **lot** boundaries on unsewered residential **lots**.
 - Location of existing **buildings**.
 - The shape of the **lot**.
 - Desire to create streetscape and visual interest.
2. Down pipes, fascias, flues, pipes, domestic fuel tanks, cooling or heating appliances or other services, screens or sunblinds, light fittings, electricity or gas meters may encroach into the side or rear **setback**.
3. Additional **building line** and **setback** controls are included in the following Chapters of this **Development Control Plan**:
 - Chapter G6: Coastal Management Areas.
 - Chapter V2: Building Lines.
 - Chapter V3: Miscellaneous Site Specific Issues.
 - Other area specific chapters.

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Additional Provisions - Dual Occupancy

A5.1 **Dual occupancy development** in the R1, R2, R3 and RU5 zones shall comply with the **setback** provisions in **Table 2** and **Figure 3** below.

Note: Greater front **setbacks** are required where **tandem** parking is proposed within the front **setback**. Refer to **A28.2** and **Figure 9**.

A5.2 **Dual occupancy development** in the RU1, RU2, RU4, E3, E4 and R5 zones shall comply with the **setback** provisions in **Table 3** below.

A5.3 Garages must be **setback** a further 1m behind the front **building line**.

Additional Provisions - Multi Dwelling Housing, Multi Dwelling Housing (Terraces), Attached Dwellings, Semi-Detached Dwellings, Manor Houses and Integrated Housing Development

A5.4 **Setbacks** shall comply with the provisions in **Table 4** below. Refer also to **Figure 4**.

Additional Provisions - Integrated Housing Development

A5.5 Despite, **A5.4** above, walls may be built to internal side and rear boundaries where:

- Maximum wall height is 3.5m unless matching an existing or simultaneously constructed wall.
- Maximum wall length is 50% of each of the abutting property boundaries.

Note: Internal side and rear boundaries refer to those boundaries that are proposed within an **integrated housing development**, but does not include those boundaries located on the periphery of the site.

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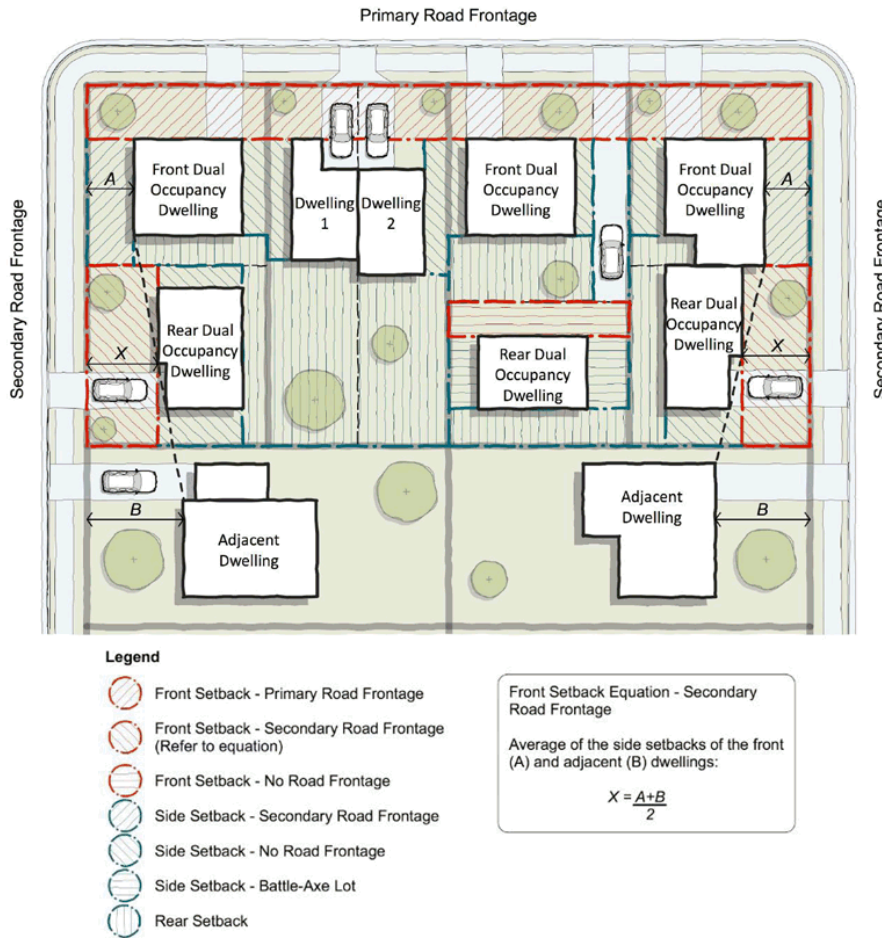


Figure 3: Dual occupancy setbacks

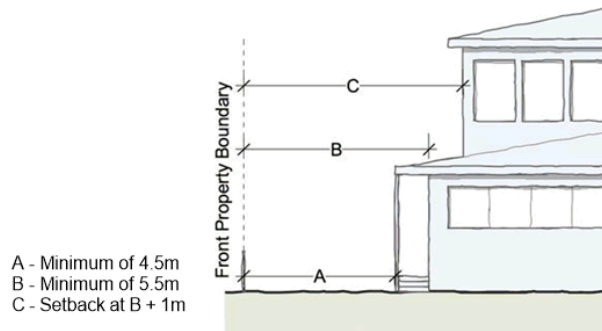


Figure 4: Multi dwelling housing, multi dwelling housing (terraces), attached dwellings, semi-detached dwellings, manor houses and integrated housing development

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Table 2: Setbacks for Dual Occupancy Development in the R1, R2, R3 and RU5 Zones

Category of subject land	Front Setback <i>Primary road frontage</i>	Front Setback <i>Secondary road frontage</i>	Front Setback <i>No road frontage</i>	Side Setback <i>Secondary road frontage</i>	Side Setback <i>No road frontage and to public reserve</i>	Rear setback <i>Including to public reserve</i>	Rear/side setback to foreshore reserve
Infill development	6m for lot depth of less than 30.5m. 7.5m for lot depth of 30.5m or more.	Average of the side setbacks of the front and adjacent dwelling: $X = \frac{A + B}{2}$	N/A	3.5m	1.2m to dwellings for wall lengths less than 50% of side the boundary. 2m to dwellings for wall lengths greater than 50% of side boundary. 900mm to detached non-habitable outbuildings.	4m to dwellings. 900mm to detached non-habitable outbuildings.	7.5m to dwellings and detached outbuildings.
New subdivisions approved on or after 18 February 2002 - Lots up to 600m ² . Lots in groups or clusters in subdivisions approved prior to 18 February 2002 - Lots up to 600m ² .	5.0m to dwellings. 4.5m to verandahs, awnings and patios.	Refer to Figure 3 for clarification.		3m			
New subdivisions approved on or after 18 February 2002 - Lots over 600m ² Lots in groups or clusters in subdivisions approved prior to 18 February 2002 - Lots over 600m ² and less than 650m ² .	6.0m to dwellings. 5.0m to verandahs, awnings and patios.			3.5m			
Battle-axe lots	N/A	N/A	3m to dwellings.	N/A	3m to dwellings.		
<p>Note:</p> <ol style="list-style-type: none"> 1. Lots are classified in this table based on the nature of the surrounding area. Infill lots are lots in an area that has been established for many years. If a dwelling is proposed on a newly subdivided lot in an infill area, then the lot would be classified as infill. The new subdivision categories are for lots that are created as part of large scale subdivisions that create new residential areas. 2. The setback to a verandah, awning or patio is measured from the posts, or in the case of a cantilevered structure, the furthest most point. 3. Setbacks to a dwelling includes attached outbuildings, garages, carports and the like. 4. Detached non-habitable outbuildings includes swimming pools. 5. Wall length includes the entire length of the wall, regardless of modulation and transitions. 							

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Table 3: Setbacks for dual occupancy development in the RU1, RU2, RU4, E3, E4 and R5 zones

Dual occupancy development in the RU1, RU2, RU4, E3, E4 and R5 zones	Front Setback <i>Primary road frontage</i>	Side Setback <i>Secondary road frontage</i>	Side Setback <i>No road frontage, public reserve or right of way</i>	Side Setback <i>To foreshore reserve</i>	Rear setback
For lots up to 4,000m ²	12.5m	6m	3m	7.5m	7.5m
For lots between 4,000m ² and 10,000m ²	20m	10m	5m		
For lots greater than 10,000m ² (1ha)	30m	15m	7.5m		

Table 4: Multi dwelling housing, multi dwelling housing (terraces), attached dwellings, semi-detached dwellings, manor houses and integrated housing development

	Front Setback <i>Primary road frontage</i>	Side Setback <i>Secondary road frontage</i>	Side Setback <i>No road frontage and to public reserve</i>	Rear setback <i>Including to public reserve</i>	Rear/side setback to foreshore reserve
Multi dwelling housing, multi dwelling housing (terraces), attached dwellings, semi-detached dwellings, manor houses and integrated housing development	Ground level – <ul style="list-style-type: none"> 4.5m to verandahs, awnings and patios. 5.5m to dwellings. First storey - A further 1m from the dwelling setback at the ground level. Refer to Figure 4 .	3m	1.2m to dwellings for wall lengths less than 50% of side the boundary. 2m to dwellings for wall lengths greater than 50% of side boundary. 900mm to detached non-habitable outbuildings.	4m to dwellings. 900mm to detached non-habitable outbuildings.	7.5m to dwellings and detached outbuildings.
Note:	1. The setback to a verandah, awning or patio is measured from the posts, or in the case of a cantilevered structure, the furthest most point. 2. Setbacks to dwellings includes attached outbuildings, garages, carports and the like. 3. Wall length includes the entire length of the wall, regardless of modulation and transitions.				

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5.1.4 Landscaping

The specific objectives are to:

- i. Ensure that landscaping maximises amenity for future residents, neighbouring dwellings and the public domain.
- ii. Ensure the provision of adequate and appropriate landscaping that is sympathetic to the local character.

Note:

- Refer to Chapter G3: Landscaping Design Guidelines of this Development Control Plan for further information on landscaping requirements.
- In bushfire prone areas, careful plant selection is required to meet bushfire requirements for asset protection zones. Plant selection must be clearly specified on the landscape plan.

Performance Criteria	Acceptable Solutions
P6.1 Sufficiently dimensioned landscaping provides amenity to residents, effective screening and enables tree and large shrub planting.	A6.1 At least 10% of the site area is to include high quality formal landscaping, which: <ul style="list-style-type: none"> • Has a minimum dimension of 1.5m in any direction. • Consists of 100% deep soil planting. • Is provided with an automated watering system.
P6.2 A suitably sized deep soil planting area encourages: <ul style="list-style-type: none"> • Mature tree and shrub growth. • Opportunity for surface water to infiltrate naturally to groundwater. 	A6.2 In addition to the formal landscaping area required at A6.1, a further landscaped area of at least 20% of the site is to be provided, which: <ul style="list-style-type: none"> • Has a minimum dimension of 1m in any direction. • Is inclusive of 40% deep soil planting.
P6.3 Unpaved or unsealed areas are maximised and are designed to facilitate on-site infiltration of stormwater run-off subject to soil/drainage conditions.	A6.3 At least 35% of the front setback is to be landscaped.
P6.4 Major existing trees are retained wherever practicable through appropriate siting of dwellings, structures and driveways.	A6.4 The landscaping provided at A6.1, A6.2 and A6.3 excludes any encroachments (i.e. any part of a building or structure), hardstand areas and any areas used for storage, clothes drying, and water tanks.
P6.5 Provision is made for appropriate street tree planting having regard to the appearance and role of the street, solar access requirements and utility services.	
P6.6 The visual impact of ancillary landscaping or retaining structures is considered.	

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A6.5 Retaining walls greater than 0.6m within the front setback are to be softened by planting for a minimum depth of 600mm on the low side of the retaining wall, for the entire length of the retaining wall.

5.2 Siting the Development

5.2.1 Local Character and Context

The specific objectives are to:

- i. Ensure that development enhances and makes a positive contribution to the character of existing buildings and streetscapes.
- ii. Ensure that development is sensitive to the landscape, built form and environmental conditions of the locality, particularly where there is a distinctive character, view or heritage significance.
- iii. Retain, incorporate and sympathetically treat existing dwellings or buildings that contribute to streetscape character (including items of heritage or conservation significance).
- iv. Encourage the sharing of views, while not restricting the reasonable development potential of a site.
- v. Minimise the impact on adjoining or adjacent properties by considering the cumulative impacts of development (including cluster or grouped development).

Performance Criteria	Acceptable Solutions
<p>P7 The scale and appearance of new development is compatible with, and sympathetic to, existing:</p> <ul style="list-style-type: none"> • Development in the locality; and • Amenity and character of the locality; <p>Particularly where the development site or its surrounds has some heritage significance or distinctive character.</p>	<p>A7.1 The development must consider/ address the following:</p> <ul style="list-style-type: none"> • The local character/context of the area and streetscape. • How the proposal is sympathetic and compatible with the existing development, amenity and character of the locality. • How the visual appearance and articulation of the development contributes to the existing streetscape and character of the local area. <p>A7.2 The development must demonstrate that items of heritage or conservation significance are retained and sympathetically treated.</p>

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	<p>Note: If the property is a heritage item, within a heritage conservation area or in the vicinity of a heritage item, the applicant must comply with Clause 5.10 Heritage Conservation of Shoalhaven LEP 2014. Area Specific chapters of this Development Control Plan may also include additional provisions relating to heritage (e.g. Kangaroo Valley, Berry, Milton).</p>
<p>P8 Existing views from the private or public domain (including heritage or familiar dominant landmarks that are recognised and valued by the community) are not substantially or unreasonably affected where it is possible to design for the sharing of views.</p>	<p>A8.1 Any reduction in views from existing dwellings or the public domain is not to be severe or devastating based on the following NSW Land & Environment Court Planning Principles:</p> <ul style="list-style-type: none"> • Views – General principles. • Views - Impact on public domain views.
<p>P9 The number, location and distribution of existing and proposed developments do not significantly alter the amenity and character of the area through concentrated localised areas of higher density development.</p>	<p><i>Additional Provisions - Dual Occupancy, Multi Dwelling Housing, Multi Dwelling Housing (Terraces) and Manor Houses</i></p> <p>A9.1 With the exception of land in the R3 Medium Density Residential zone, the cumulative impact of the development must be considered where:</p> <ul style="list-style-type: none"> • More than three (3) consecutive dual occupancy, multi dwelling housing, multi dwelling housing (terraces) or manor house developments (total, not per development type) are proposed within a street, including in a cul-de-sac; and/or • Neighbouring dual occupancies or multi dwelling housing is proposed in the head of a cul-de-sac. <p>Note:</p> <ul style="list-style-type: none"> • Secondary dwellings under State Environmental Planning Policy (Affordable Rental Housing) 2009 are considered a dual occupancy for the purpose of limiting clusters of development. • Cul-de-sac in this context also includes the entire street leading to and including the turning area of the cul-de-sac.

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- A9.2 A development application that proposes clustering of development must satisfy Council that waste servicing, parking and amenity considerations can be achieved.
- A9.3 Building design shall attempt to reduce the impact of clustering by providing individual dwelling architecture that is sympathetic with the existing or desired future streetscape.

5.2.2 Orientation and Siting

The specific objectives are to:

- i. Encourage the concurrent planning of the subdivision layout and the dwelling siting and design.
- ii. Allow flexibility in the siting of dwellings.
- iii. Ensure that design and site placement of dwellings is compatible with and enhances the existing and future streetscape.
- iv. Locate dwellings to ensure minimal loss of amenity (e.g. privacy, views, overshadowing, solar access or the like) to adjoining development.
- v. Achieve a site layout that provides a pleasant, attractive, manageable and resource efficient living environment.

Performance Criteria	Acceptable Solutions
P10.1 The site analysis informs the site design and layout.	A10.1 A site analysis plan is submitted with the development application which:
P10.2 The site layout integrates with the surrounding environment through: <ul style="list-style-type: none"> • Adequate pedestrian, cycle and vehicle links to street and open space networks. • Buildings that face and address streets and the public domain. • Buildings, streetscape and landscape design that relates to the site topography and to the surrounding neighbourhood character. 	<ul style="list-style-type: none"> • Meets the requirements of Chapter G1: Site Analysis, Sustainable Design and Building Materials Rural, Coastal and Environmental Areas of this Development Control Plan. • Clearly provides the following detail for the site and adjoining/adjacent development: <ul style="list-style-type: none"> - Height and use of buildings. - Front setbacks. - Driveways. - Boundary treatments (including retaining walls). - Geology. - Easements. - Stormwater management.
P10.3 The site layout enhances personal safety and minimises potential for crime and vandalism.	

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	A10.2 The proposed site layout responds to and implements the findings of the site analysis prepared in accordance with A10.1 .
P11.1 The frontage, entries and habitable room windows of dwelling s address the street.	A11.1 Each dwelling adjacent to the street frontage must: <ul style="list-style-type: none"> • Address the street by having a front door facing the street at the ground level where dwellings are adjacent to the primary frontage. • Ensure that any walls facing a street frontage (including secondary frontages) include a window to a habitable room on each level. • Ensure upper level windows, balconies or terraces overlook the public domain. • Provide surveillance of the street and entrance to the development.
P11.2 The design and orientation of the dwelling s: <ul style="list-style-type: none"> • Enhance the streetscape. • Complement existing development in the vicinity. • Provide visual interest. • Allow casual surveillance of public or communal streets or public domain. 	A11.2 In addition to A11.1 and where practical, the front door of all other dwelling s are to be visible from the street.
	<i>Additional Provisions - Dual Occupancy</i>
	A11.3 On corner lots , one dwelling is to address the primary frontage and the other dwelling is to address the secondary frontage .

5.2.3 Vehicle and Pedestrian Access

Note:

- Refer to Chapter G21: Car Parking and Traffic of this **Development Control Plan** for additional information.
- All works in the **road** reserve require approval from **Council** (s138 of the *Roads Act 1993*).
- Vehicular access (driveway and associated footpath crossing) must be designed in accordance with the relevant Australian Standards.

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The specific objectives are to:

- i. Allow service vehicles access where necessary.
- ii. Encourage driveway design that minimises visual impact, stormwater runoff and retains established trees and vegetation.
- iii. Encourage an approach to access design that considers the site and its elements holistically (e.g. landscaping).
- iv. Provide adequate and safe vehicular and pedestrian access from the street to the site, all dwellings and parking spaces.

Performance Criteria	Acceptable Solutions
P12.1 Access arrangements are suitable for the development.	A12.1 The site is designed to encourage pedestrian access by providing a continuous path of travel from the street to each dwelling.
P12.2 The design of the site and driveways, including manoeuvring areas, has regard to the safety of pedestrians, cyclists and vehicles.	<i>Additional Provisions - Dual Occupancy</i>
P12.3 Multiple driveways are avoided.	A12.2 In sites with a single frontage, both dwellings are to utilise a common access point from the public road unless Council is satisfied (in non-rural areas) that separate access points would result in a better design outcome.
P12.4 Vehicles are able to enter and exit the site in a forward direction.	A12.3 For corner allotments, each dwelling is to have a separate road presentation and driveway access. A12.4 Unless a proposed dual occupancy is located on an access street or laneway, the applicant must be able to demonstrate that vehicles can enter and exit the site in a forward direction.
P13.1 The visual dominance of driveways is minimised by: <ul style="list-style-type: none"> • The selection of paving materials e.g. decorative paving and brick banding. • Breaking up the appearance of driveways with landscaping and screen planting. 	A13.1 Driveways must be designed to: <ul style="list-style-type: none"> • Be all-weather and service every dwelling. • Minimise the hardstand/paved footprint. • Be setback a minimum of 0.5m from the side and/or rear boundary to accommodate appropriate landscape elements.
P13.2 Driveways are designed to: <ul style="list-style-type: none"> • Minimise the volume of stormwater runoff. 	

IA18.5 - Attachment 1

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- Increase the area available for landscaping.
- Retain established trees and vegetation.
- Accommodate public services and infrastructure.
- Retain adjacent trees by locating the driveway outside the drip line. Established shrubs and vegetation shall also be retained wherever possible.
- Accommodate all public services and infrastructure (e.g. street gully pits).
- Avoid a gun-barrel effect down the side boundary. Where a gun-barrel driveway cannot be avoided, the driveway must be curved and landscaped to Council's satisfaction to break up the appearance of the gun-barrel design.
- A grade no greater than 20%.
- Maximise the availability of on-street parking.
- Achieve minimum sight lines for pedestrian safety in accordance with AS2890.1 (Figure 3.3).

Note:

- A long section of the driveway (including the secondary frontage on corner lots) must be provided prior to the issue of the construction certificate.
- Refer to Figure 5 for images of good driveway design.



Figure 5: Examples of good driveway design

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5.3 Amenity

5.3.1 Building Separation and Visual/Acoustic Privacy

Note: Building separation is measured between the walls of buildings within the site and also across lot boundaries.

The specific objectives are to:

- i. Enable adequate solar access, natural ventilation and landscaped areas between dwellings.
- ii. Ensure the design of the site and buildings minimises impacts on the amenity of future and adjoining residents in relation to visual privacy, overlooking and noise.
- iii. Ensure the thoughtful location of noise generating plant, equipment and sources.

Performance Criteria	Acceptable Solutions
P14.1 Adequate separation between buildings is provided in proportion to the height and scale of the building.	A14.1 All dwellings shall be designed and orientated to minimise overlooking of adjoining/ surrounding dwellings and private open space.
P14.2 Direct overlooking of main internal living areas and private open space of other dwellings and adjoining properties is minimised by building layout, location and design of windows, balconies, screening devices, landscaping or other effective means.	A14.2 Habitable windows shall not be located adjacent to a shared driveway at the ground level. A14.3 Direct views between living area windows of adjacent dwellings shall be screened or obscured where: <ul style="list-style-type: none"> • Ground and first floor windows are located within the privacy sensitive zone area, being a 9m radius from any part of the window of the adjacent dwelling (Figure 6). • In the case of a dwelling with three or more storeys, windows are within the privacy sensitive zone described by a 12m radius (Figure 6).
<p>Note:</p> <ul style="list-style-type: none"> • Direct views may be obscured by fencing, dense landscape screening (effective in 3 years), offsetting or splaying windows, 1.7m sill heights, fixed translucent glazing and/or vertical or horizontal fixed louvres or the like. • Privacy screens can also provide a screen or visual barrier between a window of a habitable room or an outdoor area and will only be considered when building separation and orientation cannot reduce privacy impacts. Privacy screens are to be up to a maximum 1.5m high to avoid restricting minimum daylight/solar access requirements or natural ventilation. • Refer also to the Privacy Screen Development Standards in Clause 	A14.4 Direct views from living areas of dwellings into the principal area of private open space of adjacent dwellings shall be screened or obscured where located within a privacy sensitive zone within a 12m radius from the living area windows (Figure 7).

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2.62 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

A14.5 Separation distances for dwellings with three or more storeys shall meet the following minimum standards:

- 9m between walls with windows to habitable rooms, where adequate privacy and solar access is demonstrated.
- 12m between walls with windows to habitable rooms.

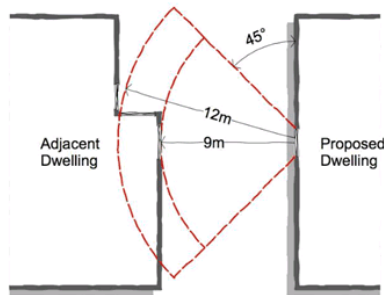


Figure 6: Privacy sensitive zone between living area windows

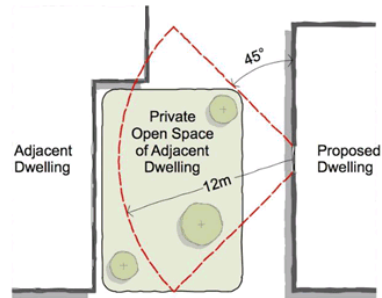


Figure 7: Privacy sensitive zone from living area windows to private open space

P15 Site layout and building design protects the amenity of residents and/or adjoining properties by minimising noise transfer and nuisance.

A15.1 Dwellings adjacent to high levels of external noise shall be designed to minimise the entry of that noise.

A15.2 The following shall be located away from the habitable rooms and private open space of dwellings:

- Communal swimming pools and ancillary facilities.
- Communal open space areas.
- Parking areas and vehicle access.

A15.3 Shared walls and floors between dwellings shall be constructed to limit noise transmission and, where possible, bedrooms of one dwelling are not to adjoin living area or garages of adjacent dwellings.

A15.4 All noise generating (mechanical) plant and equipment must:

- Not exceed an LAeq (15min) of 5dB(A) above background noise at the property boundary.

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- Be acoustically screened (where appropriate).
- Be sited to minimise noise impacts.
- Be located at least 3m away from bedroom windows.

Note: Noise generating equipment includes, but is not limited to, air conditioning units, swimming pool filters, hot water systems, fixed vacuum systems, driveway entry shutters, plant rooms, service areas, building services and the like.

Additional Provisions - Multi Dwelling Housing and Manor Houses

A15.5 Where visitor parking areas are required, they are to be located at least 3m away from bedroom windows or the affected windows are to be provided with double glazing or other suitable acoustic treatments.

5.3.2 Solar and Daylight Access

The specific objectives are to:

- Ensure that appropriate levels of solar and daylight access are provided to residents and maintained for surrounding development.

Performance Criteria	Acceptable Solutions
P16 Dwellings are sited and designed to maximise solar access to living areas and private open space.	<p>A16.1 Dwellings are to be:</p> <ul style="list-style-type: none"> • Oriented to make appropriate use of solar energy by maximising solar access to north-facing windows. • Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. • Designed to locate living areas and private open space on the northern side of the development and non-habitable areas to the south and west of dwellings. <p>A16.2 The number of single aspect south facing dwellings shall be limited.</p>

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5.3.3 Ceiling Heights

The specific objectives are to:

- i. Ensure sufficient natural ventilation, solar access, spatial quality and opportunity for long term adaptability is provided to habitable rooms.

Performance Criteria	Acceptable Solutions
<p>P17 Ceiling heights are designed to:</p> <ul style="list-style-type: none"> • Achieve sufficient natural ventilation and daylight access. • Improve spatial quality for residents. • Contribute to the local streetscape and architectural quality. 	<p>A17.1 Measured from finished floor level to finished ceiling level, minimum ceiling heights are to be:</p> <ul style="list-style-type: none"> • 2.7m to all ground floor habitable rooms. • 2.7m to upper level living rooms.

5.3.4 Dwelling Size and Layout

The specific objectives are to:

- i. To ensure dwellings are of a sufficient size to accommodate the functions of contemporary living.
- ii. To maximise internal amenity for future residents.

Performance Criteria	Acceptable Solutions
<p>P18 Large multi dwelling housing developments include a range of dwelling sizes and types.</p>	<p><i>Additional Provisions - Multi Dwelling Housing</i></p> <p>A18.1 Developments with 8 or more dwellings shall include a mix of dwellings with different numbers of bedrooms.</p> <div style="background-color: #e0e0e0; padding: 5px; margin-top: 5px;"> <p>Note: The term bedroom includes rooms capable of adaptation for use as a bedroom (e.g. study, media room).</p> </div>
<p>P19 Dwellings are of a sufficient area to ensure the layout of rooms are functional and provide a high standard of amenity.</p>	<p>A19.1 Dwellings shall have the following minimum internal areas:</p> <ul style="list-style-type: none"> • Studio: 35m². • 1 bed: 60m². • 2 bed: 90m². • 3 bed: 115m². • 4+ bed: 127m², plus a further 12m² for each additional bedroom.

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	A19.2 The location of the kitchen does not compromise the functionality of habitable areas.
	A19.3 A window shall be visible from any point in a habitable room.
P20 Dwelling layouts accommodate a variety of household activities and needs, and are appropriate for the number of residents.	<p>A20.1 Bedrooms are to have a minimum dimension of 3m, with the following minimum internal areas (excluding wardrobes):</p> <ul style="list-style-type: none"> • Master: 10m². • All other bedrooms: 9m². <p>A20.2 Combined living and dining rooms are to have a minimum area of:</p> <ul style="list-style-type: none"> • Studio, 1 and 2 bed: 24m². • 3+ bed: 28m². <p>A20.3 Living, dining or lounge rooms are to have a minimum dimension of 4m (excluding fixtures) in any direction.</p>

5.3.5 Private Open Space

The specific objectives are to:

- i. Ensure that the private open space provided for a dwelling is useable and meets user requirements for privacy, safety, access, active and passive outdoor recreational activities and landscaping.
- ii. Locate private open space to take account of outlook, natural features of the site, solar access and neighbouring buildings or public domain.

Mandatory Controls:

1. Private open space must be located behind the front building line and not within the front setback of a dwelling.

General Controls:

Performance Criteria	Acceptable Solutions
<p>P21 Private open space is:</p> <ul style="list-style-type: none"> • Functional and useable for residents all year round. • Dimensioned to suit the projected requirements of the residents, and to accommodate outdoor 	<p>A21.1 A minimum area of private open space shall be provided for each dwelling in accordance with Table 5.</p> <p>A21.2 Private open space shall have direct access from a living area.</p>

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recreational needs and service functions.

- Capable of serving as an extension of the function of the dwelling for relaxation, dining, entertainment, active recreation and children’s play.
- Located to take advantage of outlook and natural features of the site.
- Located to mitigate against external noise.
- Designed to take account of the impact of adjoining dwellings on privacy and overshadowing.

A21.3 Where the private open space of a dwelling is provided at the ground level, it shall:

- Include a defined hardstand area (e.g. concrete, paving, decking) of usable space which:
 - Is setback at least 1.2m from an external boundary.
 - Has a minimum dimension of 5m x 4m, of which 50% shall be covered to provide protection from the elements.
- Have a minimum dimension of 2m for all other areas.
- Have a gradient no steeper than 1:20.
- Be adequately screened to provide privacy to residents.

Note: The usable private open space area excludes obstructions such as stairs, storage areas, clothes drying facilities, bin storage areas, hot water systems, effluent disposal, above ground rainwater tanks and the like.

A21.4 Where the private open space of a dwelling is provided at an upper level, it shall have a minimum dimension of 2m x 3m which is covered to provide protection from the elements.

Table 5: Private Open Space Provisions

	Private Open space – Ground Level	Private Open Space – Upper Levels
Dual occupancy	50m ²	<ul style="list-style-type: none"> • Studio/1bed – 10m² • 2 bed – 14m² • 3+ beds – min 18m²
Multi dwelling housing	35m ²	
Multi dwelling housing (terraces)		
Attached dwellings		
Semi-detached dwellings		
Manor Houses		
Integrated housing development		

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5.3.6 Communal and Open Spaces

The specific objectives are to:

- i. Ensure that communal open space is provided for multi dwelling housing developments of a certain size to provide opportunities for communal outdoor activities.
- ii. Ensure communal open space is useable and meets user requirements for privacy, safety, access and landscaping.
- iii. Locate communal open spaces and open spaces to take account of outlook, natural features of the site, solar access and neighbouring buildings or public domain.
- iv. Ensure communal and open spaces are safe and well lit.
- v. Ensure communal open space does not adversely impact upon the amenity of adjacent and adjoining dwellings.

Mandatory Controls:

1. Communal open space areas must be designed to address equitable access for persons with disabilities and obligations under the Access to Premises Standard and Disability Discrimination Act 1992.

Note: Communal open space is an important amenity resource that provides outdoor recreation opportunities for residents, connection to the natural environment and valuable 'breathing space' between dwellings in larger medium density developments. Well-designed communal open spaces provide easily identifiable and usable areas co-located with landscaped areas, and a variety of facilities for a range of age groups.

General Controls:

Performance Criteria	Acceptable Solutions
<p>P22.1 Open space:</p> <ul style="list-style-type: none"> • Provides adequate amenity. • Promotes adequate personal/property security for residents and visitors. • Promotes social interaction. 	<p>A22.1 Adequate artificial lighting is provided to all pedestrian paths, shared areas, parking areas and building entries.</p> <p>Note: Lighting should be of low level bollard type with louvres to control light spill.</p>
<p>P22.2 Open space around dwellings is allocated to individual units as far as practicable to facilitate management and to minimise communal space and associated body corporate maintenance costs (where relevant).</p>	<p>A22.2 Daylight and natural ventilation is provided to all common circulation areas above ground.</p>

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<p>P23.1 Larger medium density developments include sufficient areas of communal space to enhance resident amenity.</p> <p>P23.2 Communal open space areas:</p> <ul style="list-style-type: none"> • Are functional and of adequate size. • Maximise safety. • Contribute to the character of the development. • Provide for a range of activities. • Promote social interaction between residents. • Are cost-effective to maintain. • Contribute, wherever possible, to stormwater management. • Maintain visual and acoustic privacy for dwellings. 	<p><i>Additional Provisions - Multi Dwelling Housing</i></p> <p>A23.1 Developments with 8 or more dwellings must incorporate communal open space at a rate of 5m² per dwelling.</p> <div style="border: 1px solid black; padding: 5px; background-color: #f0f0f0;"> <p>Note: The communal open space area excludes drying facilities, waste storage and recycling areas and storage areas.</p> </div> <p>A23.2 The communal open space area/s must:</p> <ul style="list-style-type: none"> • Have a minimum dimension of 5m in any direction. • Provide outlook for as many dwellings as practicable. • Be designed to protect any natural features on the site. • Be accessible and useable. • Consider location of the habitable rooms and private open space areas of adjoining/adjacent dwellings. <p>A23.3 At least 50% of the communal open space area must receive at least 3 hours of direct sunlight between 9am and 3pm on June 21.</p> <p>A23.4 Dwellings shall be designed to be clustered around the central communal space area.</p>
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5.3.7 Storage and Laundry Facilities

The specific **objectives** are to:

- i. Improve the functionality of **dwelling**s by ensuring adequate storage areas are provided.
- ii. Ensure that the location of storage areas does not impact on amenity, accessibility or the functionality of other spaces associated with the **dwelling**.
- iii. Ensure laundry and clothes drying facilities are integrated into the **development**, can be conveniently reached, require minimal maintenance and do not detrimentally impact the streetscape.
- iv. Ensure internal storage of an appropriate size is provided to each **dwelling**.

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Performance Criteria	Acceptable Solutions
<p>P24.1 External clothes drying facilities are provided for each dwelling that are:</p> <ul style="list-style-type: none"> • Adequate and easily accessible. • Well located. • Visually screened from the public domain. <p>P24.2 A laundry is provided within each dwelling.</p>	<p>A24.1 Separate laundry and external clothes drying facilities shall be provided for each dwelling.</p> <p>A24.2 External clothes drying facilities are to be:</p> <ul style="list-style-type: none"> • Provided at a rate of 16m of line per dwelling. • Located behind the front building line. • Screened from view from the public domain.

<p>P25 Adequate space is provided to accommodate the laundry facilities, vehicle/s and associated circulation space in a garage.</p>	<p>A25.1 Where laundry facilities are provided in a garage, a clear space of at least 1.2m must be provided between any fixed laundry benches/appliances and the car space (minimum of 5.5m long) as shown in Figure 8.</p>
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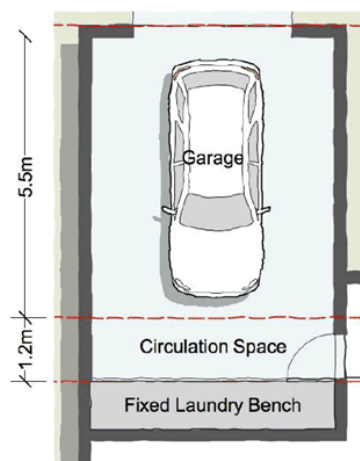


Figure 8: Circulation space required for laundry facilities in garages

<p>P26.1 Adequate, well-designed storage areas are provided for each dwelling.</p> <p>P26.2 Storage areas are sympathetically integrated into the building design.</p>	<p>A26.1 In addition to storage in kitchens, bathrooms and bedrooms, the following storage is to be provided per dwelling:</p> <ul style="list-style-type: none"> • 1 bed: 6m³. • 2 bed: 8m³. • 3+ bed: 10m³.
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- A26.2 At least 50% of the required storage in **A26.1** is to be located within the **dwelling** (excluding the garage).
- A26.3 Storage areas not located in a **dwelling** are to be secure and clearly allocated to specific **dwellings** if in a common area.
- A26.4 Where located in a garage or **basement car park**, storage areas must not encroach upon allocated car **parking spaces**.

5.3.8 Car and Bicycle Parking

The specific **objectives** are to:

- i. Provide convenient, accessible and safe parking to meet the needs of residents and visitors.

Performance Criteria	Acceptable Solutions
P27 Parking is suitable for the development .	<p>A27.1 Car parking is:</p> <ul style="list-style-type: none"> • Provided in accordance with Chapter G21: Car Parking and Traffic of this Development Control Plan. • Wholly accommodated within the site. <p>Note: Bedrooms and rooms capable of adaptation for bedrooms (e.g. study, media room) will be counted for parking and contributions requirements.</p> <p>A27.2 Secure undercover bicycle parking/storage shall be provided at a rate of 1 bicycle per dwelling.</p> <p>Note: This space may be included in the storage space required at A26.1 and A26.2.</p> <p>A27.3 For open car spaces, the maximum allowable grades are:</p> <ul style="list-style-type: none"> • Longitudinal - 5%. • Cross fall - 6.25%.

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P28 Car parking arrangements are suitable for, and consider, the surrounding road network.

Additional Provisions - Dual Occupancy

A28.1 To mitigate the adverse impacts on the surrounding road network, tandem parking in a dual occupancy development shall be limited to access streets and laneways only.

A28.2 Where tandem parking is proposed within the front setback, the setback must be increased to at least 7.2m to promote accessibility and accommodate the front vehicle wholly within the site (Figure 9).

A28.3 A vehicle parked in a tandem parking space must not impede access to an approved parking space for another dwelling.

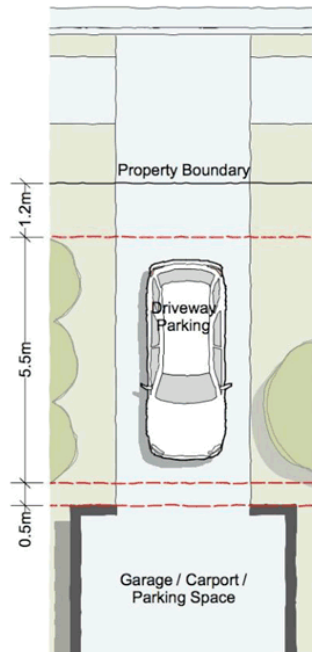


Figure 9: Tandem parking requirements

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5.4 Configuration and Design

5.4.1 Building Form, Design and Materials

The specific objectives are to:

- i. Ensure the provision of low maintenance development that will retain an attractive appearance.
- ii. Ensure that new development enhances and makes a positive contribution to the character of existing buildings and streetscapes and reinforces the built form and environmental conditions of the locality.
- iii. Ensure that in rural/environmental areas or areas of scenic value, buildings complement the existing landscape value rather than detracting from it, particularly where visible from public vantage points.
- iv. Ensure mailboxes are designed to be conveniently reached and require minimal maintenance.

Performance Criteria	Acceptable Solutions
P29.1 A dual occupancy (attached) appears as a single dwelling.	<i>Additional Provisions - Dual Occupancy (Attached)</i>
P29.2 Within rural and environmental protection zones, buildings are of a size and bulk that is compatible with the surrounding rural or environmental context in which they are located.	<p>A29.1 A dual occupancy (attached) is physically attached by a shared wall or connected by a roofed over structure that provides an all-weather link between the dwellings, and integrates the total development giving the outward appearance of a single dwelling. A covered walkway/breezeway will not be supported as an attachment.</p> <p>A29.2 In the RU1, RU2, RU4, E3, E4 and RU5 zones and in addition to A29.1, both dwellings must form an integrated building design. The linkage shall form part of the roofline and result in a continuous roof profile with identical pitch and continuity of design for the whole building.</p> <p>A29.3 Despite A29.2, any extension to an existing dwelling to enable a dual occupancy (attached) in the RU1, RU2, RU4, E3, E4 and RU5 zones must have a compatible design relationship with the existing dwelling. This shall be characterised by a continuous or complementary roof profile with similar pitch and continuity of design for the whole building.</p>

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| <p>P30.1 The selection of building materials and design complements existing development, and is sympathetic to the streetscape and existing landscape.</p> <p>P30.2 Roof treatments are integrated into the building design and make a positive contribution to the streetscape.</p> <p>P30.3 Building walls use modulation and articulation, and are limited in length to minimise massing and bulk issues as well as impact on neighbours and the public domain/streetscape.</p> <p>P30.4 The building design, detailing and finish provide an appropriate scale to the street, add visual interest and enable differentiation between dwellings when viewed from the public domain.</p> <p>P30.5 External metallic wall and roof materials are suitable and minimise reflectivity.</p> <p>P30.6 The development incorporates passive environmental design.</p> | <p>A30.1 New development, including alterations and additions, shall complement existing built form and be sympathetic to the streetscape.</p> <p>A30.2 Roof design is to be integrated harmoniously with the overall building form through the incorporation of:</p> <ul style="list-style-type: none"> • Complimentary building materials. • Design proportionate to overall building size, scale and form. • Balanced composition of solid and void elements. • Integration of service elements. <p>A30.3 Building design shall use detail, modulation and articulation of building elements to:</p> <ul style="list-style-type: none"> • Enable each dwelling to be identified from a public road. • Articulate facades and to minimise the length of unbroken walls and glazed areas. <p>A30.4 Buildings shall have a maximum unarticulated length of 15m to a public street frontage.</p> <p>A30.5 In rural/environmental areas or areas of scenic value, the external building materials and colours are to blend with the surrounding landscape.</p> <p>A30.6 External metallic walls and roof surfaces shall consist of colours and finishes that will minimise the reflectivity of the surface when viewed from the public domain or another dwelling.</p> <p style="text-align: center;"><i>Additional Provisions - Dual Occupancy</i></p> <p>A30.7 Variation to each dwelling must be provided to present different but compatible design elements.</p> <p>A30.8 Mirror reversed facades fronting the street are to be avoided.</p> |
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		A30.9 Both dwellings in a dual occupancy (attached) shall be constructed using the same materials and colours. Where a second dwelling is attached to an existing dwelling, similar materials and colours shall be used if identical materials are unavailable.
P31	Garages and parking structures are sited and designed to: <ul style="list-style-type: none"> • Add visual interest. • Provide opportunity for passive surveillance. • Not dominate the street frontage. 	<p>A31.1 Garages are compatible with design of the building.</p> <p><i>Additional Provisions - Dual Occupancy</i></p> <p>A31.2 The cumulative width of garage facades addressing the street must not exceed 9m or 50% of the length of the frontage, whichever is the lesser.</p> <p>A31.3 Co-joining of double garages is not supported unless one double garage is offset from the other by at least 2m.</p>
P32	Mailboxes, numbering and external storage facilities, as well as associated signage, are sited and designed for attractive visual appearance and efficient and convenient use.	<p>A32.1 Individual mailboxes shall be located close to each dwelling entry, or a mailbox structure located close to the major pedestrian entry to the site, that complies with the requirements of Australia Post.</p> <p>A32.2 Adequate numbering system and signage is to be provided.</p>

5.4.2 Fences and Walls

Note:

- Certain fencing is considered exempt development under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008. If the proposal does not meet the exempt criteria, consent is required from Council and the proposal is to comply with the standards below.
- **Figure 12** illustrates examples of good fence design.

The specific objectives are to:

- To ensure boundary fencing is of a high quality, promotes safety and surveillance and does not detract from the streetscape or public domain.

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Performance Criteria	Acceptable Solutions
<p>P33.1 Front fences and walls:</p> <ul style="list-style-type: none"> • Enable some outlook from buildings to the street for safety and surveillance. • Do not impede the safety of pedestrians and cyclists with the movement of vehicles between the property and the roadway. • Avoid negatively impacting on the aesthetic and spatial quality of the street. • Assist in highlighting entrances and in creating a sense of communal identity within the streetscape. • Are designed and detailed to provide visual interest to the streetscape. • Are constructed of materials compatible with the proposed development and with examples of fences and walls in the streetscape to offer a sense of continuity. • Are compatible with facilities in the street frontage area, such as mailboxes and waste collection areas. <p>P33.2 The use and/or design of fences and walls in streetscapes of significance are appropriate to the heritage or environmental context.</p>	<p>A33.1 Front fences and walls along the primary frontage (see Figure 10), shall be no higher than 1.2m (averaged for sloping sites).</p> <p>A33.2 On a corner lot, the fence or wall along the secondary frontage, behind the front building line (see Figure 10), shall be no higher than 1.8m.</p> <p>A33.3 Despite A33.2, the front fence or wall for a rear dual occupancy dwelling on a corner lot shall be no higher than 1.2m (see Figure 11).</p> <p>A33.4 A fence or wall along a primary or secondary frontage must contain:</p> <ul style="list-style-type: none"> • Open elements that make it at least 50% transparent; or • Where there are solid panels, articulated elements such as landscape screening, setbacks and varied materials. <p>A33.5 Despite A33.1 and A33.3, front fences and walls higher than 1.2m will only be supported where all the following is satisfied:</p> <ul style="list-style-type: none"> • The site is located on a classified road with high traffic volumes. • The site is not located in an area with an established heritage character. • The fence and/or wall does not exceed 10m in length without some articulation or detailing to provide visual interest. • Landscape planting is included within a 1.5m setback between the fence/wall and the boundary to achieve mature heights of at least 1.5m. <p>A33.6 The design and materials of front fences or walls is to be compatible with the surrounding streetscape.</p> <p>A33.7 Solid metal fencing shall not be erected along a primary or secondary frontage.</p>

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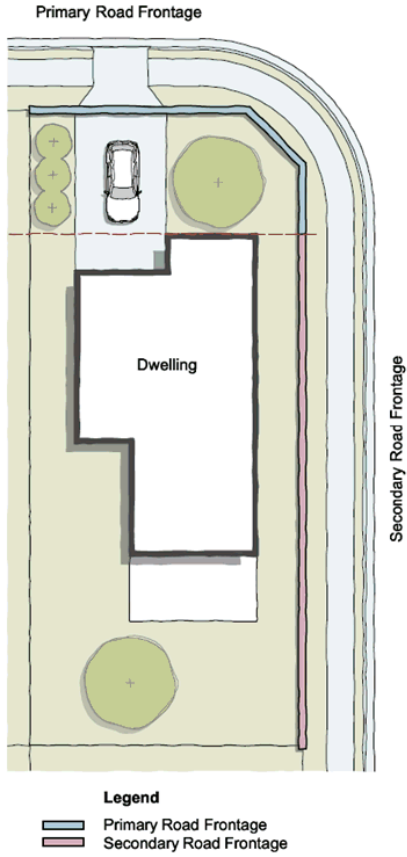


Figure 10: Primary and secondary frontages for fencing

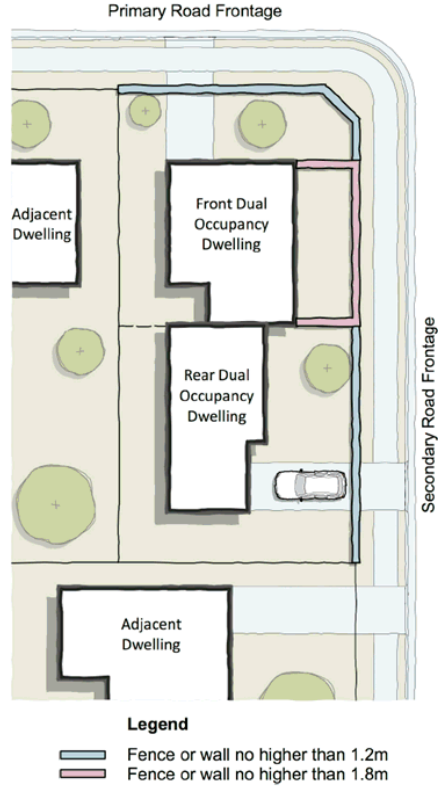


Figure 11: Fencing for dual occupancy development on a corner lot



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Figure 12: Examples of good fence design

5.4.3 Universal Design

The specific objectives are to:

- i. Ensure a suitable proportion and wider variety of dwellings include layouts and design features to accommodate the changing access and mobility requirements of residents and visitors.
- ii. Promote ageing in place by extending the usability of dwellings to meet ‘whole of life’ needs of the community.

Mandatory Controls:

1. All Class 1a and 2 developments, as defined in the Building Code of Australia, must provide accessible or adaptable housing at the following rate:
 - Developments containing 1-10 dwelling – 1 dwelling.
 - Developments containing 11 – 40 dwellings – 2 dwellings.
 - Development containing 41 – 60 dwellings – 3 dwellings.
 - Development containing 61 – 80 dwellings – 4 dwellings.
 - Developments containing 81 – 100 dwellings – 5 dwellings.

General Controls:

Performance Criteria	Acceptable Solutions
<p>P34.1 The required proportion of new Class 1a or 2 dwellings achieve appropriate levels of accessibility or are designed to be ‘easily and affordably adaptable’.</p> <p>Note: ‘Easily and affordably adaptable’ includes the future installation or alterations of inclusions to comply with the requirements of a gold standard as outlined in the Livable Housing Design</p>	<p>A34.1 The required proportion of new Class 1a or 2 dwellings, must:</p> <ul style="list-style-type: none"> • Be designed to meet a gold standard for accessibility as outlined in the ‘Livable Housing Design Guidelines’. <p>OR</p>

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Guidelines. It does not include alterations and additions resulting in a change to the configuration of a room but may include, for example, the installation of a future domestic elevator or lift meeting compliance with a gold standard as outlined in the ['Livable Housing Design Guidelines'](#).

- Be designed in accordance with an alternative solution report prepared by an accredited access consultant that specifies how the proposal can be 'easily and affordably **adaptable**' at a gold standard as outlined in the ['Livable Housing Design Guidelines'](#).

Note: The alternative solution report is to be submitted with the development application.

P34.2 Access is provided from the car **parking space** located on the premises to the principal entrance of the **dwelling** and access to and within the following areas:

- A bedroom.
- Laundry.
- A bathroom that includes a shower, WC and vanity.
- Kitchen.
- A **living area**.
- An external **private open space**.

5.5 Environment

5.5.1 Water Management and Conservation

Note: Refer to Chapter G2: Sustainable Stormwater Management and Erosion Sediment Control of the [Development Control Plan](#) for further information on stormwater management, and erosion and sediment control.

The specific **objectives** are to:

- Ensure the protection of public health, surrounding land and the natural environment including soils, groundwater and surface waters.
- Encourage harvesting of rainwater and the incorporation of pervious areas.

Performance Criteria	Acceptable Solutions
<p>P35 Stormwater is appropriately accommodated in the design including:</p> <ul style="list-style-type: none"> • Stormwater from roofed areas is collected, stored and/ or conveyed to appropriate discharge points or disposal areas. 	<p>A35.1 Roof water is to be collected by gutter and downpipe systems, or other equivalent means, and conveyed to an approved discharge point in accordance with the requirements of Part 3.1.2 of the Building Code of Australia. This could be:</p>

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- Paved areas associated with buildings and driveways are graded and drained to minimise the discharge of surface water onto adjoining land.
 - Permeable areas are utilised to reduce stormwater runoff.
- a) A gutter or table drain in a road reserve, or
 - b) A stormwater easement or easement to drain water, or
 - c) A disposal/absorption trench, where (a) and (b) above are not available, and soil conditions are suitable, or
 - d) A water tank / on-site detention system with an overflow connected to a disposal method in (a), (b) or (c) above.

A35.2 Surface water from paved areas including driveways is to be directed to an approved discharge point (see A35.1) that minimises impact on adjoining land.

Note: The method selected for the discharge point in A35.1 and A35.2 above will be assessed against the suitability and hydraulic capability including pipe size and/or soil type.

A35.3 Where the area of buildings, pavement and other impervious areas exceeds 65% of the site area, the proposal is to include details of the methods to be used to harvest rainwater and minimise increased runoff to surrounding land and public stormwater infrastructure. The details are to include assessment of pre-development and post development stormwater flows.

5.5.2 Servicing

The specific objectives are to:

- i. Ensure residential areas are provided with essential services in a timely, cost effective and efficient manner.

Performance Criteria	Acceptable Solutions
P36.1 Development is adequately and safely serviced.	A36.1 Services and utilities including electricity, gas, water, sewer, roads and drainage must be available for the initial development and ongoing development needs.
P36.2 The design and provision of public utilities, including sewerage, water, electricity, street lighting, telecommunication/ internet and gas	

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<p>services conform to the cost-effective performance measures of the relevant servicing authority.</p>	<p>A36.2 Where connection to the services outlined in A36.1 is not available, the development application must provide alternatives to Council's satisfaction.</p>
<p>P36.3 Compatible public utility services are co-ordinated in common trenching in order to minimise construction costs for underground services.</p>	<p>Note: Refer to Chapter G8: Onsite Sewage Management of this Development Control Plan for further details on the management of sewerage in areas without reticulated services.</p>
<p>P36.4 Water supply for domestic and firefighting purposes is appropriate for the location and development type.</p>	<p>A36.3 Individual water meters will be required to assist the individual billing of each dwelling.</p>
	<p><i>Additional Provisions - Dual Occupancy</i></p>
	<p>A36.4 In the case of dual occupancy (detached), the electricity service to the dwelling furthest from the street is to be underground (excluding corner lots).</p>

5.5.3 Waste Management

The specific objectives are to:

- i. Ensure waste storage and recycling areas are designed to be conveniently reached and require minimal maintenance.
- ii. Ensure waste storage and recycling areas are attractive and compliment the streetscape.
- iii. Ensure appropriate kerbside frontage is provided for bin presentation and collection.

Performance Criteria	Acceptable Solutions
<p>P37.1 Bin storage, presentation and collection arrangements:</p> <ul style="list-style-type: none"> • Are appropriate for the nature of the development. • Consider site configuration and adequate street frontage, especially lots at the head of cul-de-sacs and battle-axe lots. 	<p>A37.1 For each dwelling in a development, the kerbside frontage required for waste collection is at least 1m per bin, 0.5m separation between bins and 1m behind each bin.</p>
<p>P37.2 Bin storage is sited and designed for attractive visual appearance and for efficient and convenient use.</p>	<p>Note: If kerbside bin collection is not a suitable option, alternative waste collection options must be considered including an onsite storage and collection area (including safe access and/or turning circle). Refer to Chapter G7: Waste Minimisation and Management Controls of this Development Control Plan for more information.</p>

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A37.2 Bin storage area/s are required and must be identified on the site plan for all developments, regardless of whether waste is collected from the kerbside or via alternative waste servicing options.

A37.3 Bin storage areas must be located behind the front building line and where visible from the street, must be appropriately screened to conceal the contents from the public domain and adjacent properties.

A37.4 Where a bin storage area is also the waste collection area or where a communal waste storage and recycling area is provided, it shall be:

- Provided with a water tap for wash down purposes and drained to connect to the main sewer.
- Roofed to comply with Council's requirements.
- Readily accessible from within the site and serviceable from the adjoining roadway.

A37.5 Bins must be able to be easily manoeuvred from the bin storage area for presentation at the kerbside.

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6 Residential Flat Buildings and Shop Top Housing

This Section applies to residential flat buildings and shop top housing. The specific objectives are to:

- i. Increase the supply and diversity of dwelling types across Shoalhaven.
- ii. Make efficient use of existing infrastructure and services.
- iii. Feature good design.
- iv. Ensure that the open space provided for dwellings is useable and meets user requirements for privacy, safety, access, outdoor activities and landscaping.
- v. Locate open spaces to take account of outlook, natural features of the site, solar access and neighbouring buildings or public domain.

Performance Criteria	Acceptable Solutions
P38.1 Development responds appropriately to the character of the area, landscape setting and surrounding built form.	A38.1 The development is designed in accordance with State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65) and the Apartment Design Guide.
P38.2 Development is liveable, protects surrounding amenity and promotes resident amenity.	A38.2 Where SEPP 65 does not apply (see clause 4 of SEPP 65), the development must be designed in accordance with the Apartment Design Guide.
P39 Telecommunications/TV antennas do not detract from the streetscape.	A39.1 Only one telecommunications/TV antenna will be permitted per building. Where possible, common antennas shall be utilised.

7 Seniors Housing

This Section applies to seniors housing development. The specific objectives are to encourage the provision of housing (including residential care facilities) that will:

- i. Increase the supply and diversity of residences that meet the needs of seniors or people with a disability.
- ii. Make efficient use of existing infrastructure and services.
- iii. Feature good design.

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DRAFT Chapter G13: Medium Density and Other Residential Development

Performance Criteria	Acceptable Solutions
P40.1 The development is designed for use by seniors or people with a disability.	A40.1 The development is designed in accordance with Part 3 of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.
P40.2 The development does not adversely impact on the amenity of adjoining development .	

8 Boarding Houses, Group Homes and Hostels

This Section applies to **boarding houses**, **group homes** and **hostels**. The specific **objectives** are to encourage the provision of housing that will:

- i. Increase the supply and diversity of **affordable housing**.
- ii. Make efficient use of existing infrastructure and services.
- iii. Feature good design.

Performance Criteria	Acceptable Solutions
P41 Boarding houses are designed to be compatible with surrounding development and caters for the amenity of residents.	A41.1 The boarding house is designed in accordance with Part 2 Division 3 of State Environmental Planning Policy (Affordable Rental Housing) 2009.
P42 Group homes are designed to provide for the needs of people with a disability or who are socially disadvantaged.	A42.1 The group home is designed in accordance with Part 2 Division 7 of State Environmental Planning Policy (Affordable Rental Housing) 2009.
P43 Hostels are designed to be compatible with surrounding development , liveable, protect surrounding amenity and promote resident amenity.	A43.1 The hostel is designed in accordance with the relevant parts of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

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DRAFT Chapter G13: Medium Density and Other Residential Development

9 Advisory Information

9.1 Other legislation or policies you may need to check

Note: This Section is not exclusive and the applicant may be required to consider other legislation, policies and documents with the development application.

Council Policies & Guidelines	<ul style="list-style-type: none"> • Shoalhaven Contributions Plan
External Policies & Guidelines	<ul style="list-style-type: none"> • Access to Premises Standard • Apartment Design Guide • Building Code of Australia • Livable Housing Design Guidelines • NSW Land & Environment Court Planning Principles • Relevant Australia Standards
Legislation	<ul style="list-style-type: none"> • Disability Discrimination Act 1992 • Roads Act 1993 • State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development • State Environmental Planning Policy (Affordable Rental Housing) 2009 • State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 • State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 • State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 • Shoalhaven Local Environmental Plan 2014 • Shoalhaven Local Environmental Plan (Jerberra Estate) 2014

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Table of Changes

Category	Recommended Change	Reason
Addition	Expand definition of access street.	To further define the characteristics of an access street in terms of dominance, speed, volume and the like.
New	Insert the following definitions into the DCP Dictionary: <ul style="list-style-type: none"> • Accessible. • Adaptable. • Communal open space. • External clothes drying facilities. • Formal landscaping. • Laneway. • Primary frontage. • Secondary frontage. • Stacked parking. • Tandem parking. 	To support the new and existing provisions within draft Chapter G13: Medium Density and Other Residential Development and Shoalhaven Development Control Plan 2014 (DCP). These definitions will enhance readability and clarify provisions during application.
Deletion	Delete the term adaptable housing unit.	The term is outdated and has been replaced with the following terms in line with industry standards: <ul style="list-style-type: none"> • Accessible. • Adaptable.
Deletion	Delete the terms: <ul style="list-style-type: none"> • Drainage; • Parking space. 	These terms are defined in Shoalhaven Local Environmental Plan 2014 (LEP). The deletion reduces duplication between the LEP and DCP.
Deletion	Delete the term drying area.	The term relates specifically to existing Chapter G13: Dual Occupancy Development and is not referred to within draft Chapter G13: Medium Density and Other Residential Development. The term is replaced by 'external clothes drying facilities'.

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Amendment history			
Version Number	Date Adopted by Council	Commencement Date	Amendment Type
1	14 October 2014	22 October 2014	New
2	23 June 2015	1 July 2015	Amendment
3	7 November 2016	30 November 2016	Amendment
4	11 December 2017	20 December 2017	Amendment
5			Draft

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Note.

This dictionary must be read in conjunction with the *Shoalhaven Local Environmental Plan (SLEP) 2014*. Terms excluded from the *Shoalhaven Development Control Plan (DCP) Dictionary 2014* are as defined in *SLEP 2014*.

Where not identified in this document, definitions are based on the ordinary Australian dictionary meaning or other relevant legislation.

For information on the SLEP 2014 Dictionary, please view the [SLEP 2014 document](#).

'A' board sign means any style of portable self-supporting/free-standing sign.

Above awning sign means any sign located on top of an awning or verandah where no part of the sign projects above the roof, parapet or ridge-line, or beyond the awning edge.

Absorption when used in reference to *Chapter G8: Onsite Sewage Management* means the uptake of effluent or sullage or both into the soil.

Acceptable solutions or controls you must comply with are provided as examples of what is considered acceptable to Council to enable the performance criteria to be achieved.

Access street means a street providing local residential access with shared traffic, pedestrian and recreation use with local traffic priority, where the residential environment is dominant, traffic is subservient, speed and volume are low and pedestrian and cycle movements are facilitated.

Accessible means a dwelling designed to meet the needs of people requiring higher level access from the outset, and usually designed and built with a specific person's needs in mind. An accessible house meets the requirements of the ['Livable Housing Design Guidelines'](#), and is able to accommodate wheelchair users in all areas of the dwelling.

Active shop front means a frontage for retail or similar activity where the activity within is visible because the shop frontage is transparent or open, or where the window display occupies the full width of the shop frontage and provides visual interest to the street.

Adaptable means a dwelling design that is capable of being modified easily and affordably in the future to become **accessible**.

Adaptable Housing Unit is a housing unit which is designed and constructed to meet performance standards of the current Australian Standard for Adaptable Housing, or is capable of being modified easily in the future to become accessible to both occupants and visitors with various levels of mobility, disability or frailty as provided in this Australian Standard.

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Adult Shop means: A shop or commercial premises used for the purposes of selling sexually explicit products in which:

- a) publications classified Categories 1 and/or 2 restricted or RC under the *Classification (Publications, Films and Computer Games) Act 1995* of the Commonwealth are shown, exhibited, displayed, sold or otherwise rendered accessible or available to the public; or
- b) a business to which section 578E of the *Crimes Act 1900* applies is conducted on the premises; or
- c) a business is conducted, an object of which is the display or exhibition of any product (such as articles, compounds, preparations or devices, but not printed matter) within the meaning of that Act, that is primarily concerned with sexual behaviour.

Advertisement or **sign** has the same meaning as in the *Act*.

Note. The term is defined as a sign, notice, device or representation in the nature of an advertisement visible from any public place or public reserve or from any navigable water.

Advertising sign has the same meaning as Advertisement.

AEP / Annual exceedance probability means the chance of a flood of a given or larger size occurring in any one year, usually expressed as a percentage.

Aerated waste treatment system (AWTS) means a system that uses the processes of aeration, clarification and disinfection to treat effluent from septic tanks to a standard that complies with the requirements of the relevant regulatory authorities.

Allotment or **lot** means an area of topographical space shown on an approved plan of subdivision and on which it is intended to construct a dwelling or dwellings.

Amenities include staff and public toilets as well as staff rooms/rest areas.

Amenity block when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means a community building used as a shower block, toilet block or laundry block.

Annexe when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as a moveable dwelling that:

- a) is an attachment to a relocatable home or caravan, and
- b) is used as an extension of the habitable area of the relocatable home or caravan, and
- c) is capable of being erected or removed within 24 hours.

Annual exceedance probability (AEP) means the chance of a flood of a given or larger size occurring in any one year, usually expressed as a percentage.

Appropriate engineer means:

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- a) a suitably experienced and qualified professional including: someone with experience and qualifications leading to recognition as NPER in Civil or Structural Engineering (Institution of Engineers, Australia); or other professionals with good standing in the fields of flood risk management, flood studies and/or emergency management; and
- b) acting at all times within their experience and qualifications; and
- c) able to demonstrate to Council that they have the experience and qualifications to act as required. This normally means being able to provide documentation to Council indicating they have acted in the required capacity on at least three occasions in the last three years, and that the work was carried out to a high standard and was recognised by Council or another local council.

Arboreal means found dwelling within the crown of trees

Arboriculture means cultivating and managing trees as individuals and in small groups for amenity purposes.

Arborist means a person with training (minimum Australian Qualification Framework Level 3 in Arboriculture or equivalent) with relevant experience that enables the person to perform tasks required by Australia Standard 4373-2007.

Articulation or **building articulation** is the treatment of a façade of a building and how it is emphasised architecturally by using distinctive building elements such as:

- a) Balconies
- b) Verandahs
- c) Recessed terraces
- d) Bay windows and external shading devices
- e) Variations in setbacks
- f) Fenestration
- g) Materials and detailing
- h) Patterned and featured walls.

Asset protection zone (APZ) is an area between a bushfire hazard and a building, which is managed to minimise fuel loads, inhibit a fire path and reduce the effects of heat, flame, ember and smoke attack.

Associated structure when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government Act 1993*.

Note. The term is defined as follows:

- a) a carport, garage, shed, pergola, verandah or other structure designed to enhance the amenity of a moveable dwelling and attached to or integrated with, or located on the same site as, the dwelling concerned, or
- b) a separating wall between 2 moveable dwellings.

Australian height datum (AHD) is a common national surface level datum corresponding approximately to mean sea level.

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Awning means a permanent, roof-like structure attached to, and projecting from, the wall of a building and generally designed or constructed to provide pedestrians with protection against the weather.

Awning face/fascia sign means any sign painted on or attached to the front face of an awning that does

- a) not project above or below the fascia or return end of the awning to which it is attached
- b) not extend more than 300 mm from the fascia or return end of the awning
- c) not extend or project beyond a point 600 mm within the vertical projection of the kerb line.

BAL-29 means a construction standard under “AS3959 – Construction of buildings in bushfire prone areas”. ‘BAL’ stands for bushfire attack level and ‘29’ means the building is designed to withstand ember attack and radiant heat of up to 29kW/m².

Bandit sign means any sign displayed on or attached to a tree, post, utility pole, vehicle or structure located within or near any water, road or rail transportation corridor and includes fly posters.

Bearing capacity is defined in geotechnical engineering as the capacity of soil to support the loads applied to the ground, such as the loads from housing foundations for example

Bedrock means any rock shelf under a site that is low strength or harder.

Billboard/bulletin board may be on-building or free-standing, painted or comprise two or more poster panels.

Biobanking agreement when used in reference to *Chapter S1: Verons Estate, Sussex Inlet*, means a legally binding agreement between the landowner and the NSW Environment Minister that describes how the biodiversity values of a ‘biobank site’ will be conserved and protected. Biobanking is an offsetting program whereby the biobank site offsets development and environmental loss on another site.

Biodiversity offsets scheme threshold means the biodiversity offsets scheme threshold referred to in section 7.4 of the *Biodiversity Conservation Act 2016*.

Biodiversity Values Map means the map published, from time to time, on an appropriate Government website under clause 7.3 of the *Biodiversity Conservation Regulation 2017*.

Biosolid waste application means the application of sludge or other semi-solid products of human sewage treatment plants to land for the purpose of improving land productivity, that is undertaken in accordance with the NSW Environment Protection Authority’s guidelines titled *Environmental Guidelines: Use and Disposal of Biosolids Products (EPA 1997)* and *Addendum to Environmental Guidelines: Use and Disposal of Biosolids Products (EPA 2000a)*.

Black water means soil (toilet) wastes mixed with water.

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Bonded asbestos means any material that contains asbestos, other than friable asbestos materials.

Note. *Bonded asbestos materials include asbestos-cement, vinyl-asbestos floor tiles, asbestos brake linings and asbestos roof felt, and other materials where the asbestos is generally 'locked' into the matrix of the material. (AS 4964-2004).*

Buffer distance when used in reference to *Chapter G8: Onsite Sewage Management* means a distance measured in metres that represents the length of flow line between a wastewater disposal area and the high water mark of a waterbody or watercourse.

Building Code of Australia (BCA) is as defined in the *Environmental Planning & Assessment Act 1979*.

Note. This term means the document, published by or on behalf of the Australian Building Codes Board, that is prescribed for purposes of this definition by the regulations, together with:

- a) such amendments made by the Board, and
- b) such variations approved by the Board in relation to New South Wales, as are prescribed by the regulations.

Building envelope means a three dimensional zone determined by height, width, depth and setbacks that defines the buildable area on a site.

Building height plane means a plane projected at an angle of 45 degrees over the actual land to be built upon from a distance of 5 metres above ground level at the side boundaries of the site. Where the site is more than 20 metres in width or two or more lots are amalgamated or the common boundaries built over, Council shall determine the location of the Building Height Plane to that particular property.

Building line when used in reference to *Chapter S1: Verons Estate, Sussex Inlet*, means the line within which the dwelling and associated buildings should be located.

Bulky goods mean large goods that are, in the opinion of Council, of such a size and shape as to require:

- a) a large area for handling, storage or display; and
- b) easy and direct vehicular access to enable the goods to be collected by customers after the sale;

but does not include foodstuffs or clothing whether or not sold in association with any such goods.

Bunting means and includes decorative flags, pennants and streamers.

Bushland means land on which there is vegetation which is either a remainder of the natural vegetation of the land or, if altered, is still representative of the structure and/or floristics of the natural vegetation.

Bushland Conservation Area (BCA) when used in reference to *Chapter N20: Jerberra Estate* means an area in which no development is allowed must be fenced and retained as

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native bushland. If the land is currently cleared, it must be allowed to regenerate and/or be rehabilitated.

Bushland Management Area (BMA) when used in reference to *Chapter N20: Jerberra Estate* has the same controls as BCA, except that driveways are allowed.

Business owner when used in reference to *Chapter G17: Business, Commercial and Retail Activities* means the operator or trader of the business conducted within a business or commercial premises. It may be different to the owner of the premises building.

Bypass channels redirect a portion of floodwater away from areas under threat from flooding, and so reduce flood levels along the channel downstream of the diversion.

Cambium/Cambial layer means the living part of a tree trunk that allows the movement of water and nutrients up and down the stem.

Camp site when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. This term is defined as an area of land within a camping ground on which a campervan or tent may be installed or, in the case of a primitive camping ground, on which a campervan, tent or caravan may be installed, and that is designated as a camp site by the approval for the camping ground.

Canopy means a roof-like structure without walls that may be free standing, affixed to a building and supported by one or more posts or cantilevered and includes a covered walkway; roof over a service station driveway and a tensioned tent-like roof designed to provide protection from the weather.

Caravan when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. This term is defined as a moveable dwelling that is designed so as to be registrable as a trailer under the *Road Transport (Vehicle Registration) Act 1997*, but does not include a camper trailer.

Carport when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means a covered car parking space with no walls other than the abutting walls of a moveable dwelling from which the structure projects, provided that no more than two sides of the carport are enclosed.

Carriageway or **roadway** means the area of street reserve that is provided for the movement or parking of vehicles and is determined by the invert of kerb and gutter and or concrete edge strip.

Cation exchange capacity means the ability of the soil to take up (or bond with) ions such as sodium and phosphorous.

CBD when used in reference to *Chapter G21: Car Parking and Traffic* means those areas:

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- a) identified as a Contribution Area for a Car Park Project in *Shoalhaven Contributions Plan 2010*; and/or
- b) in the commercial centre of the town and within 400m walking distance to a public Council car park.

Clear (or clearing) vegetation has the same meaning as in *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*.

Note. The term is defined as:

- (a) cut down, fell, uproot, kill, poison, ringbark, burn or otherwise destroy the vegetation, or
- (b) lop or otherwise remove a substantial part of the vegetation.

Collection area means the location where garbage or recyclable material is transferred from a building's storage containers to a collection vehicle for removal from the site.

Collection point means the usual (or agreed) point on the footpath/roadway, or on-site, where garbage and recyclables are loaded onto vehicles.

Commercial use when used in reference to *Chapter G17: Business, Commercial and Retail Activities* includes the display of goods, an advertising A-board or menu board, and alfresco dining within a defined public footpath area.

Common effluent system means a system in which septic tank effluent in a gravity reticulation system is piped from a number of residences to a central treatment and/or application system.

Communal open space means useable shared open space located within the proposed development for the recreation and relaxation of all residents of the development.

Community means a group of people living in the same locality or having common interests.

Community building when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. This term is defined as a building (such as a shower block, toilet block or laundry block) that is used or intended to be used in connection with a community amenity, and includes a building that is to be used as a manager's or caretaker's office or residence.

Community map when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. This term is defined as:

- a) in relation to a manufactured home estate – means a scale map that accurately shows the road reserves, the community amenities and the dwelling sites within the manufactured home estate, and
- b) in relation to a caravan park or camping ground – means a scale map that accurately shows:
 - i. the access roads, community amenities and community buildings within the caravan park or camping ground, and

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- ii. the number, size, location and dimensions of dwelling sites or camp sites within the caravan park or camping ground, and
- iii. in relation to a dwelling site or camp site within the caravan park or camping ground, the particular off-site parking space or spaces (if any) designated for use by the occupier of the dwelling site or camp site.

Community title subdivision means a subdivision under the Community Land Development Act 1989.

Companion animal means companion animal as defined under the *Companion Animals Act 1998*.

Note. This term is defined as:

- a) a dog,
- b) a cat,
- c) any other animal that is prescribed by the regulations as a companion animal.

Note. The fact that an animal is not strictly a “companion” does not prevent it being a companion animal for the purposes of this Act. All dogs are treated as companion animals, even working dogs on rural properties, guard dogs, police dogs and corrective services dogs.

Complex when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means a caravan park, camping ground or manufactured home estate.

Compliance report when used in reference to *Chapter G9 Development on Flood Prone Land* and *Chapter G10: Caravan Parks in Flood Prone Areas* is a document prepared by a suitably qualified engineer, detailing how a proposed development complies with the requirements of those chapters.

Compostable material means vegetative material capable of being converted to humus by a biological decay process e.g. compost.

Composting toilet means a ‘waterless’ effluent treatment system that treats toilet wastes by composting as a result of natural decomposer organisms in the composting chamber.

Consent means an approval granted by Council following the lodgement of a Development Application in accordance with Part 4 of the *EP&At Act 1979*.

Conservation property vegetation plan (Conservation PVP) when used in reference to *Chapter S1: Verons Estate, Sussex Inlet* is a voluntary, legally binding agreement between a landholder and the Local Land Services (LLS) that describes how vegetation on your land will be managed.

Conveyance or flood conveyance means a direct measure of the flow carrying capacity of a particular cross-section of a stream or stormwater channel. (For example, if the conveyance of a channel cross-section is reduced by half, then the flow carrying capacity of that channel cross section will also be halved).

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Council means the Shoalhaven City Council or any officer authorised to act on behalf of the Shoalhaven City Council.

Crown maintenance pruning is as defined in *Australian Standard AS 4373, 1996 "Pruning of Amenity Trees"* and is considered to involve a reduction in tree foliage and branches by up to 10 percent in any one (1) year with no reduction in the height of the main trunk.

Cul-de-sac refers to a street, lane etc. closed at one end. The cul-de-sac head is the closed end and is designed to allow a turning area for vehicles.

Demolition means the complete or partial dismantling of a building by pre-planned and controlled methods, and including the removal of any whole or part of a building from a site.

Design Solutions mean solutions considered acceptable to Council to enable the objectives to be achieved.

Designated development is development listed in Schedule 3 of the *EP&A Regulation 2000* for which an environmental impact statement is required.

Designated stock storage area means an area within the internal faces of the walls of a building, which is purposely designed and constructed for storage only, physically separated from the retail floor area and out of sight of customers.

Destroy when used in reference to vegetation means any activity leading to the death, disfigurement or mutilation of a tree.

Detached habitable room means a room or suite of rooms which are used in association with the rooms of a dwelling as a single dwelling occupancy.

Development has the same meaning as in the *EP&A Act 1979*.

Note. The term is defined as follows:

- a) the use of land, and
- b) the subdivision of land, and
- c) the erection of a building, and
- d) the carrying out of a work, and
- e) the demolition of a building or work, and
- f) any other act, matter or thing referred to in section 26 that is controlled by an environmental planning instrument,

but does not include any development of a class or description prescribed by the regulations for the purposes of this definition.

Development control plan (DCP) is a written document that supports the *SLEP 2014*. The DCP provides detailed planning controls and guidelines for certain types of development and/or localities.

Dilapidation/defects report when used in reference to *Chapter G6: Coastal Management Areas* means a report prepared by a "suitable qualified person" detailing the existing condition of a building and identifying building defects and non-compliances with current

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building requirements, including the Building Code of Australia and associated Australian Standards.

Disinfection when used in reference to *Chapter G8: Onsite Sewage Management* means the process by reducing all pathogenic and other harmful organisms to safe levels in secondary treated effluent. Processed effluent is only suitable for non-potable purposes such as irrigation.

Display when used in reference to *Chapter G22: Advertising Signs and Structures* may include clothing racks, fences, merchandise on display/sale, moveable bollards, pot plants, planter boxes, screens, stands, stalls, tables, umbrellas, and any similar movable object (not including an 'A' board sign), associated with the advertising of commercial premises.

Dog-proof fencing means fencing provided around the perimeter of the APZ on each property, to prevent dogs from escaping.

Double-sided sign means two signs, back to back, on a single structure, where both sides of the sign are identical in sign face area, dimensions and content.

Drainage means any activity that intentionally alters the hydrological regime of any locality by facilitating the removal of surface or ground water. It may include the construction, deepening, extending, opening, installation or laying of any canal, drain or pipe, either on the land or in such a manner as to encourage drainage of adjoining land.

Drying area when used in reference to *Chapter G13: Dual Occupancy Development* means that part of the site which is principally used for the purpose of drying of clothing etc.

Dwelling site when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as follows:

- a) in relation to a manufactured home estate – means an area of land within the manufactured home estate that is designated as a dwelling site by the approval for the manufactured home estate, and
- b) in relation to a caravan park – means an area of land within the caravan park on which a moveable dwelling may be installed and that is designated as a dwelling site by the approval for the caravan park.

Economic activity zones in relation to *Chapter N1: Kangaroo Valley* include the defined retail core, tourist precinct and craft industry precinct as shown on the Map in Appendix 1 of that chapter.

Eddies mean small whirls caused by movement in a flowing stream of liquid.

Effective warning time when used in reference to flooding means the time available after receiving advice of an impending flood and before the floodwaters prevent appropriate flood response actions being undertaken. The effective warning time is typically used to move farm equipment, move stock, raise furniture, evacuate people and transport their possessions.

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Effluent when used in reference to *Chapter G8: Onsite Sewage Management* means liquid discharge from a septic tank, sullage treatment farm or aerated wastewater treatment system.

Effluent application area means the area of land where it is intended to dispose of or apply effluent and any by-products of sewage from the management facility.

Effluent disposal absorption means the uptake of effluent or sullage or both into the soil.

Employee when used in reference to *Chapter G19: Home Based Business Activities* means a person that works on the premises but does not reside there, and may include relatives.

Ensuite facility when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. This term is defined, in relation to a dwelling site, means a building, part of a building or an associated structure that contains at least a shower, toilet and hand basin, is provided for the exclusive use of the occupiers of the site and is located on or adjacent to the site.

Environmental planning instrument has the same meaning as in the *EP&A Act 1979*.

Note. The term is defined as an environmental planning instrument (including a SEPP or LEP but not including a DCP) made, or taken to have been made, under Part 3 and in force.

EP&A Act or the Act means *the Environmental Planning and Assessment Act 1979*.

Epicormic bud means dormant emergency buds located just beneath the bark that shoot when stimulated by a stress event such as pruning, burning, etc.

Epidermis when used in reference to vegetation means the outer layer of a plant (bark).

Epiphytic means a tree dwelling plant.

Equivalent population when used in reference to *Chapter G8: Onsite Sewage Management* means the number of persons deemed to be accommodated must be calculated in accordance with the requirements of Part D of the Building Code of Australia (BCA) in conjunction with design requirements from the Department of Public Works "Manual of Practise (Sewer Design)" (1987).

Evacuation capability when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means the ability of a park manager and staff to evacuate people and to remove all the towable on-site moveable dwellings and other assets identified to be relocated (e.g. tourists' vans, vehicles, boats) from the flood-prone area to a location above the PMF, having regard to the number of moveable dwellings and assets to be moved, the available resources with which to move them (caravan park staff and equipment, without recourse to the emergency services), the required time to move them, the capacity and suitability (e.g. in terms of impacts on traffic) of the evacuation route and intended storage location, and the effective warning time.

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Evapotranspiration means the loss of moisture to the atmosphere by direct evaporation and also by transpiration through a plant's leaves.

Exempt development is development that may be carried out without the consent of Council, subject to compliance with *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* and *SLEP 2014*.

Existing sign when used in reference to *Chapter G22: Advertising Signs and Structures* means any sign that was lawfully displayed on a building or site as at the date of adoption of this DCP, or any sign approved by Council at that date, but not yet displayed or erected.

External clothes drying facilities means an external area allocated to each dwelling which is principally used for the purpose of drying clothes and the like.

Fence means a structure or posts, rails, palings, metal, wire, profiled fibrous cement, masonry or other materials enclosing or bounding land and includes any foundation, foundation wall or retaining wall but does not include a wall which is part of a house or other building or structure.

Fence Sign means a sign painted on or otherwise affixed to a fence that is:

- a) designed and constructed to permanently delineate and identify a boundary alignment or enclosure.
- b) purpose built and designed as a backdrop to a display area (eg motor vehicle sales yard) and is not more than
 - i. 4 m in height; and
 - ii. not within 20 m of a front property boundary
- c) a temporary fence or hoarding to delineate and protect a construction site.

Flexible annexe when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as an annexe that (apart from any rigid support frame and any floor, or any door, window or other securable opening, constructed of non-flexible material) consists entirely of canvas or other flexible material.

Flood means a relatively high stream flow which overtops the natural or artificial banks in any part of a stream, river, estuary, lake or dam, and/or local overland flooding associated with major drainage before entering a watercourse, and/or coastal inundation resulting from super-elevated sea levels and/or waves overtopping coastline defences excluding tsunami (Floodplain Development Manual, 2005).

Flood affected means that a parcel of land is either fully or partly within the floodplain.

Flood assessment report is a document prepared by a suitably qualified hydraulic engineer, detailing existing flood risk for a catchment.

Flood certificate is a document providing flood information for a particular parcel of land - it can be obtained from Council.

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Flood compatible building components means a combination of measures incorporated in the design and/or construction and alteration of individual buildings or structures subject to flooding, and the use of flood compatible materials for the reduction or elimination of flood damage.

Note. A list of typical flood compatible building components is provided in Schedule 4 of Chapter G9: *Development on Flood Prone Land*.

Flood compatible materials include those materials used in building that are resistant to damage when inundated. A list of flood compatible materials is contained in Schedule 4 of Chapter G9: *Development on Flood Prone Land*.

Flood conveyance is a direct measure of flow carrying capacity of a particular cross-section of a stream or stormwater channel.

Flood fringe is that part of the floodplain remaining after the floodway and flood storage areas have been defined.

Flood marker post is a structure erected in a prominent position which depicts the height of known significant floods of record and predicted floods.

Flood planning area is the area of land below the FPL and thus subject to flood related development controls. The concept of flood planning area generally superseded the "flood liable lands" concept in the 1986 Manual.

Flood prone land is the land susceptible to flooding by the PMF event. Flood prone land is synonymous with flood liable land.

Flood proofing means a combination of measures incorporated in the design, construction and alteration of individual buildings or structures subject to flooding, to reduce or eliminate flood damages.

Flood storage areas are those parts of the floodplain that are important for the temporary storage of floodwaters during the passage of a flood.

Flood study is a technical investigation of flood behaviour. It defines the nature of flood risk by establishing the extent, level and velocity of floodwaters. The study also provides information on the distribution of flood flows across various sections of the flood plain for the full range of flood events up to and including the PMF.

Floodplain means the area of land which is subject to inundation by floods up to and including the probable maximum flood event, that is, flood prone land.

Floodplain risk management plan is a plan developed in accordance with the principles and guidelines contained in the NSW Government Floodplain Management Manual. Usually includes both written and diagrammatic information describing how particular areas of flood prone land are to be used and managed to achieve defined objectives.

Floodplain risk management study is a study that identifies and compares various risk management options. This includes an assessment of their social, economic, ecological and

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cultural impacts, together with opportunities to maintain and enhance river and floodplain environments.

Floodway means those parts of the floodplain where a significant discharge of water occurs during floods. They are often aligned with natural defined channels. Floodways are areas that, even if only partially blocked, would cause a significant redistribution of flood flow, or a significant increase in flood levels (and/or velocities).

Floor area means, in relation to a room, the area of the room measured within the finished surfaces of the walls, and includes the area occupied by any cupboard or other built-in furniture, fixture or fitting.

Floor area of a guestroom or tourist cabin when used in reference to *Chapter G15: Tourist and Visitor Accommodation* means the area of a guestroom or tourist cabin, measured within the finished surfaces of the walls, and includes the area occupied by any cupboard or other built-in furniture, fixture or fitting and all decks and verandahs.

Fluvial geomorphology is the branch of geology that examines the formation and structure of the features of the surface of the earth which is created by flowing rivers.

Footpath means the hardstand area between private property and the kerbline, whether the area is paved, grassed or concreted.

Formal landscaping means a garden bed or beds with fixed edging and a mulched or rock covered surface that is densely planted with ground covers and/ or shrubs and/ or trees.

Freeboard is a factor of safety typically used in relation to the setting of floor levels, levee crest levels, etc. Freeboard is expressed as additional height on top of the flood level and provides a factor of safety to compensate for uncertainties in the estimation of flood levels across the floodplain. Freeboard is included in the flood planning level.

Free-standing sign means any sign not attached to a building or structure and includes any three-dimensional replica, object or shape.

Friable asbestos materials (AS 4964-2004) Any material that contains asbestos and is in the form of a powder or can be crumbled, pulverized or reduced to powder by hand pressure when dry.

Note. Friable asbestos materials include asbestos lagging and sprayed asbestos insulation.

Garage when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means an enclosed single storey structure capable of accommodating not more than two motor vehicles, which is either attached to a moveable dwelling or detached.

Garage sale means the sale from a residential, school, church or other community related premises of second hand items only that have been used by the person(s) or group organising the garage sale.

Garbage means refuse or waste material other than trade waste, effluent, compostable material, green waste or recyclable material.

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Garbage and recycling room means a room where garbage and recycling receptacles are stored, awaiting reuse or removal from the premises.

Garbage chute means a duct in which deposited material descends from one level to another within the building, due to gravity.

Granny flat when used in reference to *Chapter G12: Dwelling Houses, Rural Worker's Dwellings, Additions and Ancillary Structures* is a room or suite of rooms for use by a family member(s) of the dwelling occupants in conjunction with the main dwelling house.

Green waste means vegetative matter including trees, branches, shrubs, cuttings, lawn clippings and untreated timber and wood products.

Grey water means sullage wastes (e.g. laundry, shower, kitchen, etc.) excluding toilet wastes.

Gross leaseable floor area means the sum of the areas at each floor of a building where the area of each floor is taken to be the area within the internal faces of the walls, excluding stairs, amenities, lifts, corridors, parking areas and designated stock storage areas.

Ground level (natural) means the natural level of a site at any point before any filling, excavation or building work has commenced.

Ground water means water that exists under the surface and within the soil.

Groundcover means any type of herbaceous vegetation, but it is only to be regarded as native vegetation that occurs in an area where not less than 50% of the herbaceous vegetation covering the area comprises indigenous species. In determining that percentage, not less than 10% of the area concerned must be covered with herbaceous vegetation (whether dead or alive).

Group when used in reference to *Chapter G15: Tourist and Visitor Accommodation* means a collection of two or more tourist cabins.

Guesthouse means a building or buildings used for temporary visitor accommodation of up to twenty accommodation rooms in a domestic scale of architecture, where the building or buildings incorporate a common facility for the provision of meals either to people temporarily resident or to the general public, whether or not those facilities are licensed.

Guestroom is a room or suite of rooms within a guesthouse used for tourist accommodation.

Habitable floor area means the floor areas and rooms used within a dwelling for normal domestic use, including a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room and sunroom.

Habitable room has the same meaning as in the *Building Code of Australia*.

Note. The term is defined as a room used for normal domestic activities, other than a bathroom, laundry, toilet, pantry, walk in wardrobe, hallway, lobby, clothes drying room or other space of a specialised nature that is not occupied frequently or for extended periods.

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Habitat when used in reference to vegetation means vegetation that is capable of being used for the nectar feeding, roosting or nesting of birds, arboreal marsupials, micro-bats or vegetation which supports the growth of locally indigenous epiphytic plants such as orchids.

Hazard when used in reference to flooding, is a source of potential harm or a situation with the potential to cause loss. In relation to *Chapter G9: Development on Flood Prone Land* the hazard is flooding which has the potential to cause damage to the community. Hazard can be categorised as high hazard and low hazard. In high hazard areas there is a possible danger to personal safety, evacuation by trucks is difficult, able bodied adults would have difficulties wading to safety, and flooding can cause potential significant structural damage to buildings. In low hazard areas, trucks could evacuate people and their possessions and able bodied adults would have little difficulty in wading to safety.

Hazardous waste means any waste that, because of its physically, biologically or chemically damaging properties, is capable of causing a danger to the life or health of any living thing if it is released into the environment, and is, or contains, a substance specified in Schedule 1 of the Waste Minimisation and Management Regulation 1996.

Height of building means the vertical distance measured in metres from the top most point of the building, roof or parapet (including plant and lift overruns, but excluding architectural roof features and communication devices) to the natural surface area immediately below that point (architectural roof features are non-habitable, minor decorative features).

Height of tree means the distance measured vertically between the horizontal plane of the lowest point of the base of the tree which is immediately above ground and the horizontal plane of the uppermost point of the tree.

Highly trafficked footpaths mean those footpaths which receive a high flow of pedestrian traffic on any given day, including; the Princes Highway, Junction Street

Holding in relation to *Chapter V1: Lot Averaging Subdivision* means all adjoining and adjacent land within the areas shown on the accompanying maps in that chapter, and under the same ownership as at the 16 July 1999. See also Clause 6.2.1 of that chapter.

Holding tank when used in reference to *Chapter G8: Onsite Sewage Management* means a tank used for holding wastewater prior to pumping out, sometimes called a collection well.

Holiday van when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by *the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as a moveable dwelling (other than a tent) that is or usually is continuously located on a short-term site and used primarily by its owner for occasional occupancy for holiday purposes.

Home activity when used in reference to *Chapter G19: Home Based Business Activities* means any activity carried out by a resident for either paid or unpaid employment purposes:

- a) in a dwelling or dwelling house;
- b) from a building (or area) within the curtilage of a dwelling house;
- c) from an outbuilding (or area) on a property in a rural location; or

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- d) on adjoining land in the same ownership; and
- e) the dominant use of the dwelling or land is for domestic purposes; and
- f) the activity does not involve the use of the property for the purposes of sexual services premises.

Hydraulic impact assessment report means a document prepared by a suitably qualified hydraulic engineer, detailing how a proposed development will change flood behaviour on and off the site as well as how the new development itself will be impacted by flooding.

Hydraulics means the study of water flow in waterways, in particular the evaluation of flow parameters such as water level and velocity.

Illuminated sign describes the method of presentation and means any sign that is illuminated either internally or externally by static or moving lights and includes floodlit signs, neon, flashing, chasing, or animated signs and colour changing fibre optic displays.

Important habitat trees when used in reference to *Chapter N20: Jerberra Estate* mean hollow-bearing trees (including Yellow-bellied Glider den trees and Gang-gang Cockatoo nest trees), Glossy-Black Cockatoo feed trees (*Allocasuarina littoralis*) and Yellow-bellied Glider feed trees.

Infill development means urban development that takes place within existing urban zones on land that is currently or has most recently been used for urban land use purposes.

Infiltration when used in reference to *Chapter G8: Onsite Sewage Management* means the ability of the soil to accept effluent and rainfall at the surface.

Inflatable when used in reference to *Chapter G22: Advertising Signs and Structures* means any fixed or captive balloon, blimp, kite or cold air inflatable or the like and includes lighter than air devices used for short term promotional purposes.

Injury when used in reference to vegetation means damage to a tree and includes lopping and topping poisoning, including applying herbicides and other plant toxic chemicals to a tree or spilling (including washing off or directing water contaminated by) oil, petroleum, paint, cement, mortar and the like onto the root zone cutting, tearing, breaking or snapping of branches and roots that is not carried out in accordance with accepted arboricultural practices, or is done for invalid reasons, including vandalism ringbarking, scarring the bark when operating machinery, fixing objects (eg. signs) by nails, staples or wire, using tree climbing spikes in healthy trees marked for retention (except for access to an injured tree worker) or fastening materials that circle and significantly restrict the normal vascular function of the trunk or branches damaging a trees root zone by compaction or excavation, asphyxiation including unauthorised filling or stockpiling of materials, and/or underscrubbing, unless carried out by hand tools, such as brushcutters and the like.

Installation when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*.

Note. The term is defined as:

- a) in relation to a manufactured home or a relocatable home— the process of connecting together the major sections of the manufactured home or relocatable

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home, and any associated structures forming part of the manufactured home or relocatable home, and attaching them to footings, or

- b) in relation to an associated structure—the process of constructing or assembling the components of the associated structure, and (if appropriate) attaching them to footings, and includes the connection of gas, electricity, telephone, water, sewerage and drainage services.

Integrated development is development that is described under Section 91 of the *EP&A Act 1979*.

Integrated housing development means a subdivision of land into five or more allotments and the simultaneous design and construction of a single dwelling-house or dwelling on each of the allotments created by that subdivision.

Intent means a general statement that describes the purpose for applying a particular development control measure.

Intermittent watercourse or **stream** means any stream, channel, canal or surface water drainage depression that forms a waterbody that flows during periods of rainfall or flooding.

Irrigation area when used in reference to *Chapter G8: Onsite Sewage Management* means an area of prepared soil and aggregate through which a network of either perforated pipes is laid or spray irrigators are provided. Effluent is either sprayed or permitted to percolate into the soil bed and is removed primarily by evaporation and transpiration by plants. The area outlined within these guidelines incorporates sufficient area of land to provide for the resting of effluent disposal areas through a rotational schedule.

Land capacity study means a study that examines the potential environmental impacts of on-site effluent disposal and includes detailed soil survey topographical analysis and drainage assessment.

Land filling means to place, or allow to fall, upon any land any ballast, rock, stone, shingle, gravel, sand, clay, earth, cinders, debris or any other matter or thing so as to alter the contours or levels of the land.

Landscape plan when used in reference to *Chapter G11: Subdivision of Land* means a plan outlining the extent, type and location of landscaping proposed for subdivision development generally within the street, and may include public reserves that are to be dedicated.

Laneway means a road that is similar to an Access Street, however is of a lower order in the road hierarchy and may require specific traffic regulations depending on the scale of development and servicing arrangements.

Lawful when used in reference to building development in Shoalhaven means that the building or structure has development consent and a construction certificate, complying development certificate or building approval; or was erected prior to 28 February 1964 [commencement of Interim Development Order (IDO) No. 1].

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Licensed floor area means that area of a development which is licensed for the purposes of the *Liquor Act 2007*.

Lightweight materials mean structural and cladding materials incorporating timber, steel and the like, but do not include masonry such as bricks and concrete blocks.

Likely habitat tree means any tree which has developed hollows in the trunk or limbs suitable for nesting birds, or arboreal marsupials or mammals, or is supporting the growth of locally indigenous epiphytic plants such as orchids.

Living area means a living, dining, entertainment or other recreation area or room, but does not include bedrooms, studies, bathrooms or other amenities.

Local development means development, not being exempt development, complying development or State significant development, which is permissible with consent of Council under *SLEP 2014*.

Local drainage means small scale inundation in urban areas outside the definition of major drainage as defined in the Floodplain Development Manual. Local drainage problems invariably involve shallow depths (less than 0.3m) with generally little danger to personal safety.

Local drainage management plan means a plan that examines all elements of drainage including storm drainage water quality management and stormwater harvesting.

Local overland flooding means inundation by local runoff rather than overbank discharge from a stream, river, estuary, lake or dam.

Locality means an area so named and gazetted by the Geographical Names Board.

Long term occupation means the occupation of a dwelling site for more than one hundred and fifty (150) days in any twelve (12) month period.

Long-term site when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as a dwelling site that is specified in the approval for a caravan park as being a long-term site.

Lopping means the unacceptable practice of cutting between branch unions or at internodes on young trees.

Low and moderately trafficked footpaths mean those footpaths which receive a low to moderate flow of pedestrians on any given day, including; Wason, Kinghorne and Berry Streets.

Main road frontage in relation to land means the frontage of that land to a main or arterial road; or a road connecting with a main or arterial road, if the whole or any part of the frontage

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is within 90 metres (measured along the road alignment of the connecting road) of the alignment of the main or arterial road.

Manufactured home is as defined by the *Local Government Act 1993*.

Note. The term is defined as a self-contained dwelling (that is, a dwelling that includes at least one kitchen, bathroom, bedroom and living area and that also includes toilet and laundry facilities), being a dwelling:

- a) that comprises one or more major sections, and
- b) that is not a registrable vehicle within the meaning of the Road Transport (Vehicle Registration) Act 1997, and includes any associated structures that form part of the dwelling.

Manufactured home estate is as defined by the *Local Government Act 1993*.

Note. The term is defined as land on which manufactured homes are, or are to be, erected.

Merit approach when used in reference to flooding is an approach, the principles of which are embodied in the Floodplain Development Manual, which weighs social, economic, ecological and cultural impacts of land use options for different flood prone areas together with flood damage, hazard and behaviour implications, and environmental protection and well-being of the State's rivers and floodplains.

Motor vehicle sign means any sign fitted to, placed upon or beside a motor vehicle, caravan or trailer stopped on a public road or private property for the primary purpose of displaying such sign but does not include any sign on a motor vehicle which is able to be driven on public roads with the sign displayed.

Moveable dwelling is as defined by the *Local Government Act 1993*:

- a) any tent, or any caravan or other van or other portable device (whether on wheels or not), used for human habitation, or
- b) a manufactured home, or
- c) any conveyance, structure or thing of a class or description prescribed by the regulations for the purposes of this definition.

Moving sign means any sign, either illuminated or non-illuminated, including rotating, trivision, carousel, animated, computer controlled, moving display or message signs with a single or variable message.

Named river when used in reference to *Chapter G8: Onsite Sewage Management* means any waterbody that has been specifically identified by Sydney Water or Shoalhaven City Council as being an important resource within a drinking water catchment.

Native vegetation is as defined in Part 5A of the *Local Land Services Act 2013*.

Note: this means any of the following types of plants native to New South Wales:

- a) trees (including any sapling or shrub or any scrub),
- b) understorey plants,

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- c) groundcover (being any type of herbaceous vegetation),
- d) plants occurring in a wetland

Native Vegetation Panel means the Native Vegetation Panel established under section 60ZE of the *Local Land Services Act 2013*.

Normal business hours mean:

- Monday to Friday – 8.00 am to 5.00 pm.
- Saturdays 8.00 am to 1.00 pm.
- No work on Sundays or Public Holidays.

NSW Coastal Policy means the publication titled NSW Coastal Policy 1997: A Sustainable Future for the New South Wales Coast, published by the Government.

Objectives are a general statement of the overall intention of applying a design element.

Operational land has the same meaning as in the *Local Government Act 1993*.

Orchid management area when used in reference to *Chapter S1: Verons Estate, Sussex Inlet* means areas where the Leafless Tongue Orchid (*Cryptostylis hunteriana*) and/or the greenhood orchid species *Pterostylis ventricosa* occur (refer to supporting map of Chapter S1). Note that potential habitat for *Pterostylis ventricosa* in Swan Lake has not been surveyed.

Orphan site when used in reference to *Chapter S8: Ulladulla Town Centre* means a site in the retail area where maximum development in accordance with that chapter has occurred on at least two adjoining sites. Note. This control only relates to floor space ratio (see definition in *SLEP 2014*).

Other advertised development means any development that is identified as advertised development in a local environmental plan or DCP.

Outbuilding means any of the following:

- a) Balcony, deck, patio, pergola, terrace or verandah, carport or garage that is attached or free-standing,
- b) Cabana, cubby house, fernery, garden shed, gazebo or greenhouse, shed or shade structure,
- c) Rainwater tank,
- d) Above ground swimming pool

Outdoor eating area means an approved sit down, un-enclosed, open-air (al-fresco) dining area with associated furniture located on either a public footpath or on private property. The area is defined by that area occupied by the furniture with sufficient room for diner manoeuvrability and any associated menu boards, pot plants, planter boxes and/or screens or crash barrier.

Owner is as defined in *the Local Government Act 1993 No. 30*.

Note. The term is defined as

- a) in relation to Crown land, means the Crown and includes:

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- i. a lessee of land from the Crown, and
- ii. a person to whom the Crown has lawfully contracted to sell the land but in respect of which the purchase price or other consideration for the sale has not been received by the Crown, and
- b) in relation to land other than Crown land, includes:
 - i. every person who jointly or severally, whether at law or in equity, is entitled to the land for any estate of freehold in possession, and
 - ii. every such person who is entitled to receive, or is in receipt of, or if the land were let to a tenant would be entitled to receive, the rents and profits of the land, whether as beneficial owner, trustee, mortgagee in possession, or otherwise, and
 - iii. in the case of land that is the subject of a strata scheme under the [Strata Schemes \(Freehold Development\) Act 1973](#) or the [Strata Schemes \(Leasehold Development\) Act 1986](#), the owners corporation for that scheme constituted under the [Strata Schemes Management Act 1996](#), and
 - iv. in the case of land that is a community, precinct or neighbourhood parcel within the meaning of the [Community Land Development Act 1989](#), the association for the parcel, and
 - v. every person who by this Act is taken to be the owner, and
- c) in relation to land subject to a mining lease under the [Mining Act 1992](#), includes the holder of the lease, and
- d) in Part 2 of Chapter 7, in relation to a building, means the owner of the building or the owner of the land on which the building is erected.

Parallel development when used in reference to *Chapter G15: Tourist and Visitor Accommodation* means development for Bed & Breakfast Accommodation and Tourist Cabins carried out on the same land.

Parapet means a low wall projecting from the edge of a platform, terrace or roof.

Park van when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as a moveable dwelling (other than a tent), whether or not capable of being registered under the *Road Transport (Vehicle Registration) Act 1997*, that:

- a) is or usually is continuously located on a short-term site, and
- b) is provided for hire, and
- c) is used by a site occupier other than the owner of the moveable dwelling primarily for holiday purposes.

Parking space means a space dedicated for the parking of a motor vehicle, including any manoeuvring space and access to it, but does not include a car park, which is separately defined in the *SLEP 2014*.

Performance criteria is a general statement of the means of achieving the intent. They provide designers and developers an opportunity to work through a variety of design criteria. Not all performance criteria will be applicable to every development.

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Permeability when used in reference to *Chapter G8: Onsite Sewage Management* means the ability of the soil to ‘absorb’ and transmit effluent through its profile.

Permeable paving means paving construction using impervious materials that are physically shaped and/or arranged to allow infiltration through gaps in the pavement material.

Permit means a permit issued by Council under *Chapter G4: Tree & Vegetation Management* for the removal or pruning of trees or other vegetation.

pH means the measure of acidity or alkalinity measured on a scale of 0 to 14 with 7 as a neutral point. From 0 to 7 is acid; from 7 to 14 is alkaline.

Phosphorous sorption capacity when used in reference to *Chapter G8: Onsite Sewage Management* means the ability of the soil to take up phosphorous from the effluent.

Plan of survey or **survey plan** means a plan prepared in accordance with survey practice and prepared by a registered surveyor.

Pond-based aquaculture means aquaculture undertaken in structures that are constructed by excavating and reshaping earth, which may be earthen or lined, and includes any part of the aquaculture undertaken in tanks, such as during the hatchery or pre-market conditioning phases, but does not include natural water-based aquaculture. Note. Typical pond-based aquaculture is the pond culture of prawns, yabbies or silver perch.

Porous paving permits water to pass through the paving material by virtue of the properties of that material.

Potential building area when used in reference to *Chapter N20: Jerberra Estate* means the area identified on Figure 11 of that chapter, where dwellings and associated structures should be located so that your property and neighbouring properties can be safely and appropriately developed. Some flexibility is provided within the bushfire asset protection zones (APZs), however locating your dwelling and associated structures within the potential building area will make the development approval process more straightforward.

Potential building area/line when used in reference to *Chapter S1: Verons Estate, Sussex Inlet*, means the area or line identified on the supporting map in Chapter S1 within which dwellings and associated buildings should be located so that your property and neighbouring properties can be safely and appropriately developed.

Potential development area when used in reference to *Chapter S1: Verons Estate, Sussex Inlet*, encompasses the potential building area and bushfire asset protection zones (APZ) and on-site effluent treatment and application area.

Primary frontage means:

- The single frontage where an allotment has a single frontage to the road; or
- The shortest frontage where an allotment has two or more frontages to the public road; or

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- The two frontages where an allotment (not including a corner allotment) runs between two roads.

Prescribed waters mean any waterbody that has been specifically identified by Sydney Water or Shoalhaven City Council as being an important resource within a drinking water catchment.

Primary treatment when used in reference to *Chapter G8: Onsite Sewage Management* means the separation of suspended material from wastewater by settlement and/or flotation in septic tanks, primary settling chamber, anaerobic process of treatment, prior to effluent discharge to either a secondary treatment process, or to a land-application system.

Probability when used in reference to flooding is a statistical measure of the expected chance of flooding (see AEP).

Probable maximum flood (PMF) is the largest flood that could conceivably occur at a particular location, usually estimated from probable maximum precipitation. Generally, it is not physically or economically possible to provide complete protection against this event. The PMF defines the extent of flood prone land, that is, the floodplain.

Probable maximum precipitation (PMP) is the greatest depth of precipitation for a given duration meteorologically possible over a given size storm area at a particular location at a particular time of the year, with no allowance made for long-term climatic trends (World Meteorological Organisation, 1986). It is the primary input to the estimation of the probable maximum flood.

Professional consulting rooms means a room or a number of rooms forming either the whole of or part of, attached to or within the curtilage of a dwelling-house and used by not more than three legally qualified medical practitioners or by not more than three dentists within the meaning of the *Dentists Act 1934*, or by not more than three health care professionals, who practise therein the profession of medicine, dentistry or health care respectively, and if more than one, practise in partnership and who employ not more than three employees in connection with that practice.

Professional engineer means a person:

- a) who is a registered professional engineer in the relevant discipline who has appropriate experience and competence in the relevant field; or
- b) who is
 - i. a Corporate Member of the Institute of Engineers, Australia; or
 - ii. eligible to become a Corporate Member of the Institute of Engineers, Australia, and has appropriate experience and competence in the relevant field.

Projecting wall sign means any sign attached to and projecting at right angles from a wall.

Provisional hydraulic and hazard categories are the categories used in place of hydraulic and hazard categories where no Floodplain Risk Management Plan has been prepared as yet and are based on velocity and depth considerations only.

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Prune or **pruning** is defined as all other pruning which is not 'crown maintenance pruning' and includes 'crown modification' as defined in *Australian Standard AS 4373-1996, "Pruning of Amenity Trees"*.

Public dining area means that area set aside for patrons to eat meals and excludes kitchen, bar and amenity areas but includes reception areas.

Public open space means land used or intended for use for recreational purposes by the public and includes parks, public gardens, riverside reserves, pedestrian and cyclist accesses, playgrounds and sports grounds.

Public road has the same meaning as in the *Roads Act 1993*.

Note. The term is defined as:

- a) any road that is opened or dedicated as a public road, whether under this or any other Act or law, and
- b) any road that is declared to be a public road for the purposes of this Act.

Public work means work carried out by the Council on Public Land.

Pump-out effluent system means a normal septic tank system, followed by a holding tank, used for the storage of effluent which is pumped out by a Council contractor at regular intervals with a specified number of services per year. This effluent is transferred to one of Council's sewage treatment works for further treatment and ultimate disposal.

Pylon sign means any freestanding elevated sign supported by one or more columns, pylons or poles where the display area may include separate removable and replaceable slats, panels or other components.

Recyclable means capable of being reprocessed into usable material or re-used.

Regulation when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Reliable access means the ability for people to safely evacuate an area subject to imminent flooding within effective warning time having regard to the depth and velocity of floodwaters, the suitability of the evacuation route, and without the need to travel through areas where the "water depth - velocity product" is greater than 0.3m²/s.

Relocatable home when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as:

- a) a manufactured home, or
- b) any other moveable dwelling (whether or not self-contained) that comprises one or more major sections, including any associated structure that forms part of the dwelling, but does not include a tent, caravan or campervan or any moveable dwelling

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that is capable of being registered under the Road Transport (Vehicle Registration) Act 1997.

Remnant tree or vegetation means a native tree or any patch of native vegetation which remains in the landscape after removal of most or all of the native vegetation in the immediate vicinity.

Removal or pruning (or remove or prune) has the same meaning as **Clear (or clearing)** vegetation.

Remove when used in relation to vegetation means to cut down, take away or transplant a tree from its place of origin.

Restricted development site means land identified as a restricted development site on the Natural Resource Sensitivity Land map overlay in the *SLEP 2014*.

Retailing when used in reference to *Chapter G19: Home Based Business Activities* involves the display for sale of goods in small quantities to the public but does not include mail order, 'Just in time' retailing or 'E-commerce'.

Rigid annexe when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds & Moveable Dwellings) Regulation 2005*.

Note. The term is defined as an annexe that is not a flexible annexe.

Risk means the chance of something happening that will have an impact. It is measured in terms of consequences and probability (likelihood). In the context of *Chapter G9: Development on Flood Prone Land* and *Chapter G10: Caravan Parks in Flood Prone Areas*, it is the likelihood of consequences arising from the interaction of floods, communities and the environment.

Roughness coefficients describe the resistance of the bed of a channel to the flow of water within it. They are used in equations calculating energy loss due to roughness of a surface.

Rural Lifestyle Area when used in reference to *Chapter V1: Lot Averaging Subdivision* refers to localities 1-8 identified in Clause 4.2B of *SLEP 2014*.

Scale means relative dimensions to ground level, including height, bulk and number of storeys.

Secondary treatment when used in reference to *Chapter G8: Onsite Sewage Management* means anaerobic and aerobic biological processing and settling or filtering of effluent received from a primary treatment unit. Effluent quality following secondary treatment is expected to be equal to or better than 20 g/m³ five-day biochemical oxygen demand and 30g/m³ suspended solids.

Secondary frontage means:

- The longer frontage where an allotment has two or more frontages to a road; or

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- The frontage that adjoins a lane where an allotment (not including a corner allotment) runs between a road and a lane.

Septic tank a tank used for the collection, primary settling and anaerobic treatment of household wastewater.

Sewage includes any effluent of the kind referred to in paragraph (a) of the definition of waste in the dictionary to the *Local Government Act 1993*.

Sewage management system means

- a human waste storage facility; or
- a waste treatment device intended to process sewage, and includes a drain connected to such a facility or device.

Short-term site when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* is as defined by the *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*.

Note. The term is defined as a dwelling site on which a moveable dwelling that is ordinarily used for holiday purposes may be installed and that is specified in the approval for a caravan park as being a short-term site

Sign face area means the area bounded by the framework of a manufactured panel, hoarding or illuminated sign case and is calculated by the sign face height and sign face width.

Single storey when used in reference to *Chapter N1: Kangaroo Valley* means a single storey construction with pitched roofs and being no greater than 5.5 metres in height as measured from any point on the natural surface below a structure.

Site specific flood warning system is where the following is provided:

- an alarm system which alerts occupants to the need to evacuate, sufficiently prior to likely inundation to allow for the safe evacuation of pedestrians and vehicles; and
- signage to identify the appropriate procedure and route to evacuate.

SLEP 1985 means the *Shoalhaven Local Environmental Plan 1985*.

SLEP 2014 means the *Shoalhaven Local Environmental Plan 2014*.

Slow point or local area traffic management device (LATM) when used in reference to *Chapter G11: Subdivision of Land* means sections of a street which have geometric features which limit the travel speed of vehicles. These include bends, constrictions to carriageway width etc.

Sodicity means the level or presence of exchangeable sodium salts in the soil. Effluent contains high levels of sodium that may act to disperse clay particles, resulting in a significant reduction in the permeability of the soil.

Soil profile means the different layers (horizons) of different soil types with depth.

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Special waste means a waste that posed or is likely to pose an immediate or long-term risk to human health or the environment. This includes hazardous waste, clinical waste and contaminated waste. Special arrangements need to be made for the management of these wastes.

Split systems when used in reference to *Chapter G8: Onsite Sewage Management* means where black and grey water are split into separate waste streams at the source. Full on-site split systems dispose of both streams on-site but into separate disposal systems. Partial on-site split systems dispose of grey water on-site and rely on a cart-away system for the black water stream.

Stability analysis report or **geotechnical report** means a report that examines the geological profile of the site and includes the soil and moisture condition and watertable and bedrock characteristics.

Stacked parking means a parking arrangement with two parking spaces arranged one behind the other either in separate or same ownerships (may be self-managing and a management plan or arrangement may be required).

State significant development is development that is declared to be State significant development by a State Environmental Planning Policy, Regional Environmental Plan, Local Environmental Plan or the Minister as the case may be in a range of particular circumstances.

Structurally independent when used in reference to *Chapter G6: Coastal Management Areas* means in relation to parts of a building located in Precinct 2 (of beach erosion/oceanic inundation hazard area), does not provide structural support to any portion of the building located in Precinct 3, and should the portion of the building be removed on the future (by either natural or man-made processes), will not result in significant structural damage or collapse of any part of the building located in Precinct 3.

Stormwater infiltration trench or **bioretention system** means a purpose built absorption trench designed to store and filter stormwater runoff from dwelling and associated structures.

Structure (not including an 'advertising structure') means a construction, not necessarily roofed, which performs a function or functions requiring rigidity and includes a fence.

Sufficient time/access means the ability to safely evacuate to an area above the PMF prior to the onset of flooding, within the effective warning time, having regard to the suitability of the route and the possible prevailing environmental conditions including the depth and velocity of floodwaters, and without reliance on a private flood warning facility.

Suitably qualified hydraulic engineer means an experienced and qualified professional engineer, recognised as a chartered professional engineer by the Institution of Engineers Australia in the field of civil engineering, flood risk management, emergency management, structural engineering or similar, acting at all times within their experience and qualifications, and able to demonstrate to Council that they have the experience and qualifications to act as required.

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Suitably qualified person means any of the following:

- a) Professional engineer as defined above,
- b) Licenced builder,
- c) Level 1 or 2 Accredited Certifier – Building Surveying,
- d) Registered Architect

Tandem parking means a parking arrangement with two parking spaces arranged one behind the other and in the same ownership (self-managing).

Temporary sign means an advertisement for short term promotional purposes that:

- a) announces any local event of a religious, educational, cultural, social or recreational character or relates to any matter in connection with such an event; and
- b) the event is organised by a charitable organisation, sporting association or public authority; and
- c) does not include advertising of a commercial nature (except for the name(s) of an event's sponsor(s)).

Tertiary treatment means the process by which disinfection and additional Biological Oxygen Demand (BOD) removal are achieved upon secondary treated wastewater. Disinfection should reduce all pathogenic and other harmful organisms to safe levels. Processed effluent is only suitable for non-potable purposes such as irrigation.

Top of bank means the point closest to the boundary of the active floodplain of a stream where a break in the slope of the land occurs such that the grade beyond the break is flatter than 3:1 at any point for a minimum distance of 15 metres measure perpendicularly from the break.

Topping means cutting away part, or all, of the tree canopy leaving a trunk and stubbed main branches.

Tourist accommodation unit means a dwelling used, designed, constructed or adapted to be used for the provision of holiday accommodation, not permanent occupation, being one of a group of similar dwellings forming part of a tourist facility.

Tourist cabin means a freestanding building used to provide short-term self-contained holiday accommodation.

Note: Tourist cabin is a type of tourist and visitor accommodation as defined in Shoalhaven Local Environmental Plan 2014.

Tourist and camping site when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means a short-term or camping site in a caravan park or a camping site in a camping ground that is available for hire by tourists and does not have or usually have a moveable dwelling continuously located on site.

Tourist resort means a building or buildings containing more than twenty (20) accommodation units providing for short term visitor accommodation and recreation, which building or buildings may include a refreshment room and space capable of being used for

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functions such as receptions, conventions and may provide other recreational facilities incidental to such accommodation.

Towable on-site moveable dwelling when used in reference to *Chapter G10: Caravan Parks in Flood Prone Areas* means a moveable dwelling (including a caravan or annexe) that is or usually is continuously located on site and is designed, installed and maintained in a manner so as to be removed from the flood-prone area within the effective warning time (e.g. quick-release tie-down, draw-bar and wheels attached and serviceable, services readily detachable, not attached to non-towable moveable dwellings or associated structures). Experience indicates that moveable dwellings located on long-term sites tend to lose their mobile status and so would not generally qualify as towable on-site moveable dwellings. Similarly, holiday vans tend to lose their mobile status, and their removal could place unreasonable burdens on the park manager and emergency services, so these also would not generally qualify as towable on-site moveable dwellings.

Town activity node means concentration of a high level of human activity and social interaction at a particular point in the town, or at that point where human activity is concentrated in the town.

Trade waste means refuse or waste material arising from any trade or industry but excludes liquid waste, demolition waste, building waste, special waste, contaminated waste, green waste or recyclable waste.

Traffic generating development means development that requires in excess of three off-street car parking spaces and/or frequent vehicle access by a large rigid truck or bus containing over twelve seats.

Tree means a perennial plant with at least one self-supporting woody or fibrous stem, being:

- a) more than 5m tall, or
- b) more than 5m wide across the foliage crown or
- c) having a trunk circumference of more than 500mm measured 1m above ground level.

Tree dripline or zone means the area defined, under a tree, by the outer edge of the tree canopy projected to ground level.

Two storey when used in reference to *Chapter N1: Kangaroo Valley* means a two storey construction with pitched roofs and being no greater than eight metres in height as measured from any point on the natural surface.

Under awning sign means a sign suspended from underneath an awning or verandah.

Undesirable species means plants that have characteristics which may lead to poisoning, weed infestation, brittle and dangerous wood, excessive spread of roots or bushland invasion.

Urban area means any land zoned Residential, Commercial or Industrial under SLEP 2014.

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Urban design master plan means a comprehensive Plan for an area of renewal where particular attention must be paid to design and layout principles required in the Plan and for consultation with the local community.

Variation statement means a written statement accompanying a development application demonstrating how the objectives and relevant performance criteria will be achieved if an alternative to the 'acceptable solutions' is proposed.

Vegetation means all native plant communities other than trees as defined in this plan.

Vegetation management plan means a structured program adopted by the Council for the protection, maintenance, restoration and replacement of trees and native vegetation.

Vicinity of a heritage item or conservation area means the extent of land, natural environment and/or built environment which has a physical or visual relationship to the heritage item or conservation area. The objective of control of development in the "vicinity" of heritage items and conservation areas is to ensure new development does not adversely impact upon the heritage significance of other sites.

View means what is seen from a particular point.

View Corridor means a cone of vision extending from a selected point towards the valued view.

Village Centre in relation to Chapter N1: Kangaroo Valley is generally the built-up area of the town between the school and the showground.

Village Retail Core in relation to Chapter N1: Kangaroo Valley is the area shown on the map and bounded to the west by the Anglican Church and the School, to the east by the Police Station and Heritage Precinct, to the north by the proposed cycle path and to the south by existing premises having frontage to Moss Vale Road (lot depth of 25-30 metres).

Vista means an enclosed view usually long and narrow.

Visual impact statement when used in reference to *Chapter N1: Kangaroo Valley* means a report that examines the effects of development on the scenic values of Kangaroo Valley and recommends ways to neutralise any adverse impacts.

Volume reduction equipment means devices, which reduce the volume of waste or recyclable material including compressing devices such as compactors and balers, and shredding, pulverising or crushing devices.

Voluntary conservation agreement (VCA) when used in reference to *Chapter S1: Verons Estate, Sussex Inlet*, a VCA is a voluntary, legally binding agreement between a landholder and the NSW Environment Minister. Conservation agreements are used to permanently protect land which has special environmental features.

Wall or courtyard wall means a wall, screen or fence, screening part or portion of an allotment of land for privacy, security or safety reasons.

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Waste has the same meaning as in the *Protection of the Environment Operations Act 1997*.

Note. This term is defined as follows:

- a) any substance (whether solid, liquid or gaseous) that is discharged, emitted or deposited in the environment in such volume, constituency or manner as to cause an alteration in the environment, or
- b) any discarded, rejected, unwanted, surplus or abandoned substance, or
- c) any otherwise discarded, rejected, unwanted, surplus or abandoned substance intended for sale or for recycling, processing, recovery or purification by a separate operation from that which produced the substance, or
- d) any processed, recycled, re-used or recovered substance produced wholly or partly from waste that is applied to land, or used as fuel, but only in the circumstances prescribed by the regulations, or
- e) any substance prescribed by the regulations to be waste.

A substance is not precluded from being waste for the purposes of this Act merely because it is or may be processed, recycled, re-used or recovered.

Waste cupboard means a storage area within each dwelling (usually in the kitchen) of a size sufficient to enable source separation of a single days work into garbage, recyclables and compostable material.

Waste minimisation and management plan means a table showing the volume and type of waste to be generated, stored and treated on site, how the residual is to be disposed of and, if required, how ongoing management will operate.

Waste storage and recycling area means a designated area or a combination of designated areas upon the site of a building for the housing of approved containers to store all waste material (including recyclable material) likely to be generated by the building's occupants.

Waterfront means the sea, bays, rivers and lakes (as defined by the 1:25,000 Topographic Map series as prepared by the NSW Land and Property Information).

Water cycle management study means a study examining:

- a) the existing volumes of water and pollutant levels leaving the site and predict any changes which might result from the development. This information must be provided for both wet and dry weather conditions;
- b) how the development will maintain or improve existing water quality;
- c) how the management systems which used to control impact on water quality will be able to operate properly over the life of the development;
- d) how the development will achieve any water quality objectives for rivers and streams;
- e) the effect of the development on the waterbodies to which it discharges;
- f) the outline management strategies and practices to control those affects;
- g) how the performance of water quality control systems will be monitored over time.

Water sensitive urban design (WSUD) is the integration of urban town planning and development with the management, protection and conservation of the water cycle as a whole.

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Waterbody means:

- a) a natural waterbody including
 - i. a lake or lagoon either naturally formed or artificially modified; or
 - ii. a river or stream, whether perennial or intermittent, flowing in a natural channel or bed or in a natural channel artificially modifying the course of the stream; or
 - iii. tidal waters including any bay, estuary or inlet; or
- b) an artificial waterbody, including any constructed waterway, canal, inlet, bay, channel, dam, pond or lake, but does not include a detention basin or other construction that is only intended to hold water intermittently.

Wholesale supplies mean a building or place used for the display, sale or hire of goods or materials by wholesale only to businesses that have an Australian Business Number registered under the A New Tax System (Australian Business Number) Act 1999 of the Commonwealth.

Wildlife friendly fencing when used in reference to *Chapter N20: Jerberra Estate and S1: Verons Estate, Sussex Inlet* means fencing provided in the bushland conservation area (BCA) or bushland management area (BMA) to limit disturbance whilst not impeding the movement of wildlife, comprising posts and plain wires.

Window includes a roof skylight, glass panel, glass brick, glass louvre, glazed sash, glazed door, translucent sheeting or other device which transmits natural light directly from outside a building to the room concerned.

Zero lot line means a dwelling with no side boundary setback on one side of the lot – i.e. the dwelling is built to the boundary. The wall of the dwelling on the lot line has no windows and is constructed in accordance with the Building Code of Australia.

CULBURRA BEACH PROGRESS ASSOCIATION INC.

ABN 46 518 114 398

P.O. BOX 135 CULBURRA BEACH NSW 2540



18th April 2018

Councillor Nina Cheyne
Shoalhaven City Council
P.O. Box 42
Nowra NSW 2541

Dear Councillor Cheyne

I am writing to you in relation to a telephone conversation you had with Mr Robert Shimmen (President) regarding the below topics.

1. The signposting of Warraine Beach (which is where the Surf Club is situated) as a Disabled access beach,
2. The repair and maintenance of the roadway down to Tilbury Cove to make it accessible for wheelchairs, mobility scooters and walkers.
This road way is in quite a bit of disrepair and we think that all residents and visitors should be able to access one of the top scenic spots at Culburra Beach.

I have also added below the motion that was raised by one of our members regarding Warraine Beach.

Alan Pendleton raised a motion that council sign post Warrain Beach as having disabled access, then look after the other two beaches later. Seconded: Phillip Hanson

Yours sincerely

Merilyn Cobcroft
Secretary